

## Application reference: 24/1690/HOT SOUTH TWICKENHAM WARD

Date application received	Date made valid	Target report date	8 Week date
04.07.2024	16.07.2024	10.09.2024	10.09.2024

**Site:**

265 Waldegrave Road, Twickenham, TW1 4SU,

**Proposal:**

To relocate the vehicular access and crossover from Strawberry Hill Road onto Waldegrave Road. The existing vehicular access from Strawberry hill road will be removed. A new taller wall will be erected around the property boundary to Waldegrave Road and Strawberry Hill Road.

Status: Pending Consideration (If status = HOLD please check that all is OK before you proceed any further with this application)

**APPLICANT NAME**

Laura Tutty  
Michael Jones, 129 Kew Road  
Surrey  
Richmond  
England  
TW9 2PN  
United Kingdom

**AGENT NAME**

Miss Laura Tutty Architects  
129 Kew Road  
Richmond  
TW9 2PN  
United Kingdom

**DC Site Notice:** printed on and posted on and due to expire on

**Consultations:**

**Internal/External:**

**Consultee**

LBRuT Trees Preservation Officer (North)  
LBRuT Trees Preservation Officer (North)  
LBRUT Transport  
LBRuT Trees Preservation Officer (North)

**Expiry Date**

25.09.2024  
08.10.2024  
30.07.2024  
30.07.2024

**Neighbours:**

56 Strawberry Hill Road, Twickenham, TW1 4PY, - 16.07.2024  
54 Strawberry Hill Road, Twickenham, TW1 4PY, - 16.07.2024  
50 Strawberry Hill Road, Twickenham, TW1 4PY, - 16.07.2024  
52 Strawberry Hill Road, Twickenham, TW1 4PY, - 16.07.2024  
35 Strawberry Hill Road, Twickenham, TW1 4PZ, - 16.07.2024  
37 Strawberry Hill Road, Twickenham, TW1 4PZ, - 16.07.2024  
267 Waldegrave Road, Twickenham, TW1 4SU, - 16.07.2024  
St Marys Students, Registrars Office, St Marys University College, 268 Waldegrave Road, Twickenham, TW1 4SX, - 16.07.2024  
Medical Centre, St Marys College, Waldegrave Road, Twickenham, TW1 4SX, - 16.07.2024  
St Marys College, 268 Waldegrave Road, Twickenham, TW1 4SX, - 16.07.2024

**History: Development Management, Appeals, Building Control, Enforcements:**

Development Management

Status: GTD Application: 04/1920/PS192  
Date: 10/08/2004 Proposed single storey rear infill extension with mono-pitch roof.

Development Management

Status: REF Application: 09/T0047/TPO  
Date: 24/02/2009 T1 - Oak - Raise Canopy and reduce by 33% and remove deadwood

Development Management

Status: PCO

Date:

Application:24/1690/HOT

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Building Control

Deposit Date: 11.08.2004

Single storey rear extension, ground floor WC and en-suite bathroom

Reference: 04/1669/FP

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Building Control

Deposit Date: 16.09.2004

Single storey rear extension, ground floor WC and en-suite bathroom

Reference: 04/1669/RS1/FP

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Building Control

Deposit Date: 26.08.2008

Installed a Gas Boiler

Reference: 08/COR01976/CORGI

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Building Control

Deposit Date: 09.04.2019

Install a gas-fired boiler

Reference: 19/FEN01410/GASAFE

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Building Control

Deposit Date: 24.08.2021

Install a gas-fired boiler

Reference: 21/FEN02916/GASAFE

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**Recommendation:**

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

**I therefore recommend the following:**

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable  YES\*  NO  
(\*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement  YES\*  NO  
(\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)  YES  NO

This application has representations on file  YES  NO

Case Officer (Initials): .....FIS.....

Dated: .....08/10/2024.....

**I agree the recommendation: SGS**

Senior Planner

Dated: .....24/10/24.....

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management: .....

Dated: .....

<b>REASONS:</b>
<b>CONDITIONS:</b>
<b>INFORMATIVES:</b>
<b>UDP POLICIES:</b>
<b>OTHER POLICIES:</b>

The following table will populate as a quick check by running the template once items have been entered into Uniform

**SUMMARY OF CONDITIONS AND INFORMATIVES**

**CONDITIONS**

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**INFORMATIVES**

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<b>Application Number</b>	24/1690/HOT
<b>Address</b>	265 Waldegrave Road, Twickenham, TW1 4SY
<b>Proposal</b>	To relocate the vehicular access and crossover from Strawberry Hill Road onto Waldegrave Road. The existing vehicular access from Strawberry hill road will be removed. A new taller wall will be erected around the property boundary to Waldegrave Road and Strawberry Hill Road.
<b>Contact Officer</b>	Fariba Ismat
<b>Target Determination Date</b>	10/09/2024

## 1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

## 2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The application site is a corner property occupied by a two-storey detached dwellinghouse located at the junction Waldegrave Road and Strawberry Hill Road. The application site is located within South Twickenham Ward and is designated as follow:

Number of constraints: 16

Item Found	More Information
Area Poorly Provided with Public Open Space	Area poorly provided with Public Open Space
Area Susceptible to Groundwater Flood - Environment Agency	Superficial Deposits Flooding - >= 50% <75% - SSA Pool ID: 338
Article 4 Direction Basements	Article 4 Direction - Basements / Ref: ART4/BASEMENTS / Effective from: 18/04/2018
Community Infrastructure Levy Band	Low
Critical Drainage Area - Environment Agency	Strawberry Hill [Richmond] / Ref: Group8_003 /
Risk of Flooding from Surface Water 1 in 100 chance - Environment Agency	RoFSW Extent 1 In 100 year chance - SSA Pool ID: 23463
Risk of Flooding from Surface Water 1 in 1000 chance - Environment Agency	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 38441
Surface Water Flooding (Area Less Susceptible to) - Environment Agency	
Surface Water Flooding (Area Less Susceptible to) - Environment Agency	
Surface Water Flooding (Area Susceptible to) - Environment Agency	
Take Away Management Zone	Take Away Management Zone
TPO	
TPO	REF: T0635 - T1 Common Oak - Quercus robur
Village	Strawberry Hill Village

Village Character Area	St. Mary's University and surrounds - Area 9 Strawberry Hill Village Planning Guidance Page 34 CHARAREA12/09/01
Ward	South Twickenham Ward

### 3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposal seeks to relocate the vehicular access and crossover from Strawberry Hill Road onto Waldegrave Road. The existing vehicular access from Strawberry hill road will be removed. A new taller wall will be erected around the property boundary to Waldegrave Road and Strawberry Hill Road.

A comprehensive list of planning history is presented above, however relevant planning history for the site includes:

24/1690/HOT	To relocate the vehicular access and crossover from Strawberry Hill Road onto Waldegrave Road. The existing vehicular access from Strawberry hill road will be removed. A new taller wall will be erected around the property boundary to Waldegrave Road and Strawberry Hill Road.	Under Consideration
09/T0047/TPO T1	Oak - Raise Canopy and reduce by 33% and remove deadwood	Refused Permission
04/1920/PS192	Proposed single storey rear infill extension with mono-pitch roof.	Granted Permission

### 4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above. No letter of representations has been received.

### 5. MAIN POLICIES RELEVANT TO THE DECISION

#### NPPF (2021)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places

These policies can be found at:

[https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/1005759/NPPF\\_July\\_2021.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/1005759/NPPF_July_2021.pdf)

#### London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D12 Fire Safety

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

#### Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP1	Yes	<del>No</del>
Impact on Amenity and Living Conditions	LP8	Yes	<del>No</del>
Parking Standards and Servicing	LP45	Yes	<del>No</del>

These policies can be found at

[https://www.richmond.gov.uk/media/15935/adopted\\_local\\_plan\\_interim.pdf](https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf)

## Richmond Publication Local Plan (Regulation 19 version)

The Richmond Publication Version Local Plan (Regulation 19 version) and its supporting documents, including all the Regulation 18 representations received, was considered at Full Council on 27 April. Approval was given to consult on the Regulation 19 Plan and, further, to submit the Local Plan to the Secretary of State for Examination in due course. The Publication Version Local Plan, including its accompanying documents, have been published for consultation on 9 June 2023. Together with the evidence, the Plan is a material consideration for the purposes of decision-making on planning applications.

The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Note that it was agreed by Full Council that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95/t will continue to be applied; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement at this stage; all other aspects and requirements of these policies will apply.

These policies can be found at

[https://www.richmond.gov.uk/media/fomccpcf/publication\\_local\\_plan\\_low\\_resolution.pdf](https://www.richmond.gov.uk/media/fomccpcf/publication_local_plan_low_resolution.pdf)

### Supplementary Planning Documents

House Extension and External Alterations

Strawberry Hill Village Planning Guidance

These policies can be found

at: [https://www.richmond.gov.uk/services/planning/planning\\_policy/local\\_plan/supplementary\\_planning\\_documents\\_and\\_guidance](https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance)

## 6. EXPLANATION OF OFFICER RECOMMENDATION

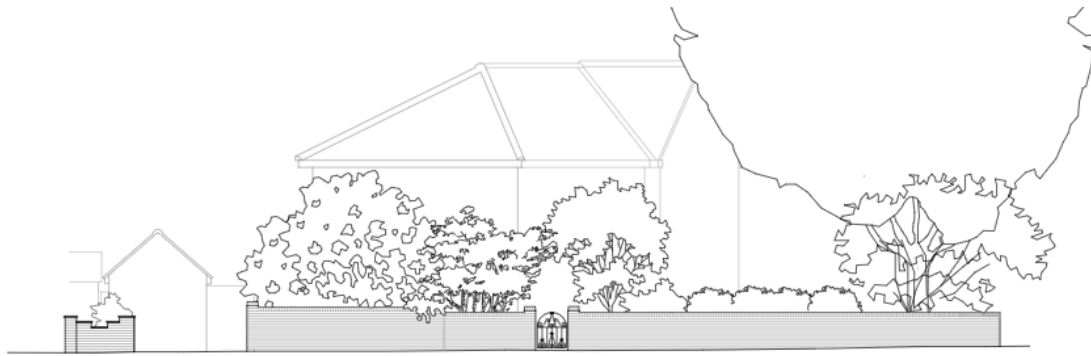
The key issues for consideration are:

- i. Design
- ii. Impact on neighbour amenity
- iii. Impact on Pedestrian and Road Safety
- iv. Fire Safety
- v. Local Finances

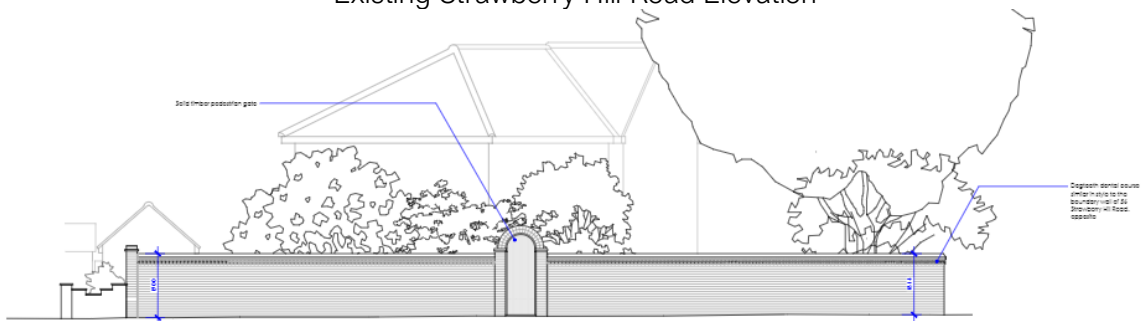
### i. Design

*Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.*

The proposal is not considered to impact the appearance of site or the street scene negatively as the proposed changes are relatively like for like. The proposal would relocate the existing entrance to onsite parking area from Strawberry Hill Road onto Waldegrave Road. The two drawings below show the existing and proposal changes to Strawberry Hill Road elevation. The existing entrance would be bricked up and existing wall would be replaced by a 1.9m high wall sloping down to 1.8m toward Waldegrave Road. The existing low height iron gate would be replaced by a solid gate to same height as the proposed wall.



Existing Strawberry Hill Road Elevation

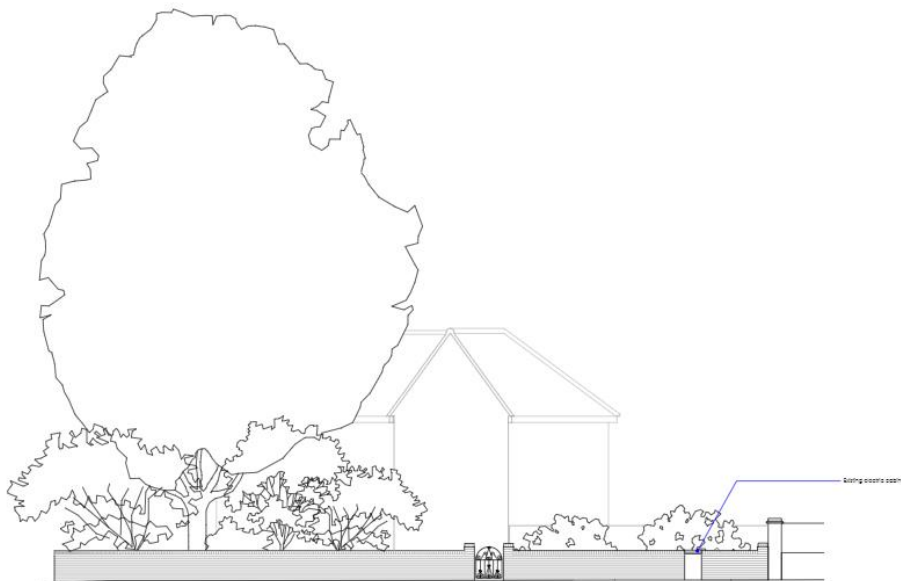


Proposed Strawberry Hill Road Elevation

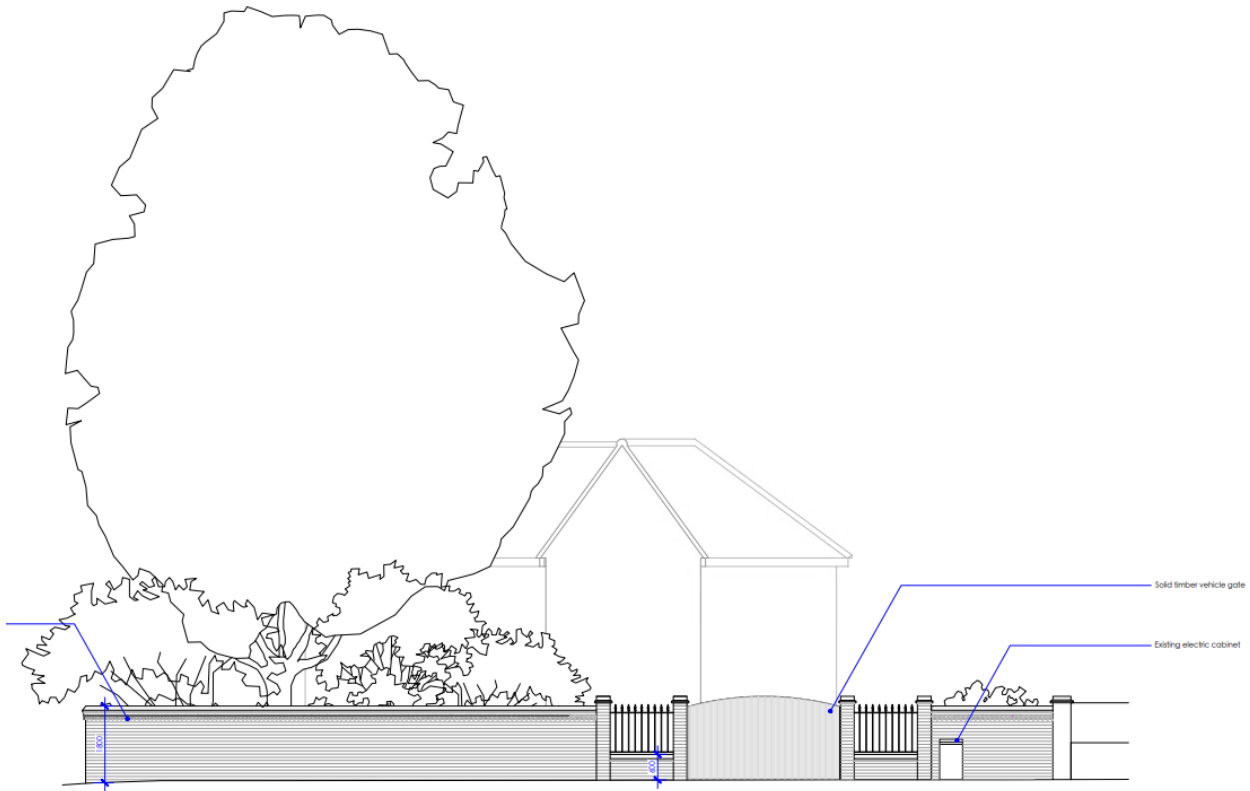
The proposed changes to Strawberry Hill Road are considered acceptable as they would present minimum change to appearance of the site, the higher walls as seen from the photo below appears to be part of the character of the street and therefore is not objected to.



The two drawings below show the existing and proposed changes to Waldegrave Road.



The section of the wall between the existing gate and electric cabinet would be removed and replaced by a solid timber gate and two 600mm low walls with metal railings on each side of the gate and the rest of the wall would be solid brick to 1.8m height as seen below.



The proposed changes to Waldegrave Road elevation are considered acceptable as the design and appearance of the proposed part solid/part low height wall with railings and the associated gate is considered to be in keeping with the street character, hence, is considered to add consistency of design and appearance to the benefit of the street scene.

In view of the above, the proposal is considered to be consistent with the aims and objectives of policy LP1 of the current Local Plan (2018), the new Publication Local Plan (Regulation 19 version), and the House Extensions and External Alterations SPD and has not overcome the previous reasons for refusal.

### ii. Impact on neighbour amenity

*Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.*

The proposal due to its siting and nature is not considered to impact neighbouring amenities and therefore is not objected to.

### iii. Impact on Pedestrian and Road Safety

policy LP45 of the Local Plan states that the Council will require new development to make provision for the accommodation of vehicles in order to provide for the needs of the development while minimising the impact of car-based travel including on the operation of the road network and local environment and ensuring making the best use of land. It will achieve this by:

The proposal is to relocate the vehicular access and crossover from Strawberry Hill Road onto Waldegrave Road and is not considered to impact road or pedestrian safety negatively. As for most part the proposal involves replacing the existing wall with higher wall of 1.8m. The existing vehicular access from Strawberry Hill road will be removed and new vehicular access would be formed on Waldegrave Road.

Waldegrave Road is A classified road and would require vehicles to be able to enter and exit in forward



gear in compliance with section 5.5 of the LBRuT Transport SPD 2020/2024. A Swept Path Analysis along with technical notes was submitted on 09/09/24 and shows the vehicle movement from and to site in forward gear and was agreed by Transport. As for the proposed sliding solid timber gate, it was also agreed to subject for the gate to be automatic with reasonably fast opening speed.

In response to this request the agent provided speed details of the proposed sliding gate confirmed by the supplier in an email of 08/10/2024 that the operation speed of the slide gate motors is 9m per minutes with a caution to be noted that there may be slight difference to this on installation due to the live risk assessment and the need for an element of slow down at either end of the gates travel.

This was considered acceptable by Transport subject to submission of technical details for our records. In an email of 08/10/2024 the technical details were provided by the agent.

The proposal therefore is considered to be compliant with policy LP45 of the Local Plan and therefore is supported.

#### **vi Trees**

Policy LP16 of Local Plan states that the Council will require the protection of existing trees and the provision of new trees, shrubs and other vegetation of landscape significance that complement existing, or create new, high quality green areas, which deliver amenity and biodiversity benefits.

There is an Oak tree in the front garden of the site and is protected by Tree Preservation Order TPO T0635. According to Trees the replacement of the boundary wall within the RPA of protected tree T9, may require the severance of a number of large roots (over 25mm) for T6, 7, 8 and 9 and there is concern that this could lead to a detrimental impact to the subject trees. As a result, mitigation measures were requested to ensure the retention of the majority of roots. Methods such as trial pits to establish the presence of roots would allow for an informed methodology prior to work taking place.

In response an amended BS 5837 Arboricultural Report & Impact Assessment Dated 9th September 2024 was submitted and stated that all roots over 25mm will be retained, and a lintel built over them to allow for retention and secondary thickening. This mitigation measure was considered acceptable by Trees solution subject to the condition of an Arboricultural Method Statement.

The proposal therefore is considered to compliant with policy LP16 of Local plan and the decision will be issued with an AMS condition.

#### **vi. Fire Safety**

London Plan policy D12 requires the submission of a Fire Safety Statement on all planning applications.

A Reasonable Exception Statement has been submitted and claims that given the application relates to landscaping works only, hence, the proposed works are de minimis in regard to Policy D12 of London Plan and explained as follow.

1. Identify suitably positioned unobstructed outside space: a) for fire appliances to be positioned on b) appropriate for use as an evacuation assembly point
2. Are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures
3. Are constructed in an appropriate way to minimise the risk of fire spread.
4. Provide suitable and convenient means of escape, and associated evacuation strategy for all building users
5. Develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in.

In response each point; where works proposed under this application are de minimis in regards to Policy D12

Fire safety given the application relates to landscaping works only:

1. The unobstructive outside space remains unaltered in this application.
  - a. Access to an unobstructive driveway is improved and could be used for a fire appliance, and/or as an evacuation assembly point.
  - b. Similarly the access via double vehicular gates to the public highway is improved and could be used for a fire appliance, and/or as an evacuation assembly point.
  - c. Alternatively, appliances can park in the street.
2. The planning proposal does not include any internal alterations to 265 Waldegrave Road, external works only. All existing fire mitigation features remain as existing.
3. The proposal does not involve any internal works to the property itself. Appropriate methods of construction for external works will be used to minimise the risk of fire spread. All required CDM documentation will be produced prior to work beginning and followed for the duration.
4. The means of escape from 265 Waldegrave Road remain unaltered.
5. No changes to the building interior are proposed in this application hence the strategy for evacuation does not change.

The RES in this instance is considered acceptable due to nature of development.

#### **v. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS**

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

The proposal is not considered liable for the Mayoral or Richmond CIL due to nature of development.

#### **8. RECOMMENDATION**

This recommendation is made following careful consideration of all the issues raised through the application process. In making this recommendation consideration has been had to the statutory duties imposed by the Planning Act 1990 and the requirements set out in Chapter 16 of the NPPF.

### **Grant planning permission**

Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

Submitted Drawings:

2023.01.03.EXG.002, 2023.01.03.EXG.001, 2023.01.03.EXG.010, 2023.01.03.EXG.011,  
2023.03.03. PIN01.200, 2023.03.03. PIN01.010, 2023.03.03. PIN01.011 – Recd. 04/07/24

2023.03.03. PLN01. 002.A, 2023.03.03. PLN01. 001.A – Recd. 09/07/24

Swept Path Analysis (P2409.1 Figure 1 & P2409.1 Figure 2) Transport Technical Note Rev. Plot 6,  
Impact Assessment Plan - CCL 11902 IAP, Tree Constraints Plan - CCL 11902 TCP, Tree Protection  
Plan - CCL 11902 TPP – Recd. 09/09/2024