

Application reference: 24/2379/HOT KEW WARD

Date application received	Date made valid	Target report date	8 Week date
23.09.2024	02.10.2024	27.11.2024	27.11.2024

Site:

19 Sandycombe Road, Richmond, TW9 2EP,

Proposal:

Rear dormer roof extension and single storey side infill extension. Rooflights to front elevation. Removal of chimney

Status: Pending Decision (If status = HOLD please check that all is OK before you proceed any further with this application)

APPLICANT NAME

Mr and Mrs Andrew and Amanda
Durham and Shaffu
19 Sandycombe Road
Richmond
Richmond Upon Thames
TW9 2EP

AGENT NAME

Simona Roggero
Britannia House
11 Glenthorne Road
LONDON
W6 0LH

DC Site Notice: printed on and posted on and due to expire on

Consultations:**Internal/External:****Consultee**

Cadent Gas Plant Protection
Network Rail
London Underground

Expiry Date

23.10.2024
23.10.2024
23.10.2024

Neighbours:

11E Sandycombe Road, Richmond, TW9 2EP, - 02.10.2024

17 Sandycombe Road, Richmond, TW9 2EP, - 02.10.2024

21 Sandycombe Road, Richmond, TW9 2EP, - 02.10.2024

History: Development Management, Appeals, Building Control, Enforcements:Development Management

Status: PDE

Date:

Application: 24/2379/HOT

Rear dormer roof extension and single storey side infill extension. Rooflights to front elevation. Removal of chimney

Building Control

Deposit Date: 11.01.2013 Installed a Gas Boiler

Reference: 13/FEN00267/GASAFE

Building Control

Deposit Date: 12.07.2018 Install replacement window in a dwelling

Reference: 18/FEN01135/FENSA

Building Control

Deposit Date: 04.07.2020 Install 1 Door
Reference: 20/VEK00020/VEKA

Enforcement

Opened Date: 18.01.2001 Enforcement Enquiry
Reference: 01/00026/EN

Application Number	24/2379/HOT
Address	19 Sandycombe Road Richmond TW9 2EP
Proposal	Rear dormer roof extension and single storey side infill extension. Rooflights to front elevation. Removal of chimney
Contact Officer	Sukhdeep Jhooti
Target Determination Date	27.11.2024

1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The subject site is a two-storey, terraced dwellinghouse. It is within Kew Village and is designated as follows:

- Gas High Pressure Pipe Cadent PLC
- Increased Potential Elevated Groundwater
- London Underground Rail Safeguard Zone
- Network Rail Safeguarding Zone
- Throughflow Catchment Area
- Village Kew Village
- Village Character Area East Side of Sandycombe Road Area 7 Kew Village Planning Guidance

3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposed development comprises rear dormer roof extension and single storey side infill extension. Rooflights to front elevation. Removal of chimney.

Application Site:

No recent/relevant planning history.

Adjacent to the Rear of Site:

9/2385/VRC, Variation of condition U86797 (Approved Drawings) of 15/2440/VRC to allow for amendments including: fenestration changes, internal reconfiguration and changes to screening materials Variation of condition 2 of application 08/4792/FUL to allow for amendments including: - Introduction of clerestory windows to eastern elevation of office building; - 2 Conservation rooflights added to front (western) elevation of residential building; - 2 Conservation rooflights added to roof slope to flank wall on northern elevation., Granted Permission, 05/10/2019

08/4792/FUL - Redevelopment of site to provide new single storey commercial building and 2 storey building comprising 4 x 2-bedroom dwellings - Application Permitted on Appeal

4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.

No. 17 is adjacent to the south. No. 21 is adjacent to the north. The rear of the site is in commercial use, adjacent to the railway track. No neighbourhood letters of representation were received.

In addition, the following consultees were consulted on this application.

Cadent Gas	No comment.
Network Rail	No comment.
London Underground (Tube)	No comment.

5. MAIN POLICIES RELEVANT TO THE DECISION

NPPF (2023)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change
- 15. Conserving and enhancing the natural environment

These policies can be found at:

<https://www.gov.uk/guidance/national-planning-policy-framework>

London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D12 Fire Safety
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI 12 Flood Risk Management
- SI 13 Sustainable Drainage

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP1,	Yes	No
Impact on Amenity and Living Conditions	LP8	Yes	No
Impact on Biodiversity	LP15	Yes	No
Impact on Trees, Woodland and Landscape	LP16	Yes	No
Impact on Flood Risk and Sustainable Drainage	LP21	Yes	No

These policies can be found at

https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf

Richmond Publication Local Plan (Regulation 19 version)

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will apply.

Issue	Publication Local Plan Policy	Compliance	
Flood risk and sustainable drainage	8	Yes	No
Local character and design quality	28	Yes	No
Biodiversity and Geodiversity	39	Yes	No
Trees, Woodland and Landscape	42	Yes	No
Amenity and living conditions	46	Yes	No

Supplementary Planning Documents

House Extension and External Alterations
Village Plan – Kew Village

These policies can be found at:

https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance

6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

- i. Design
- ii. Impact on neighbour amenity
- iii. Trees
- iv. Flood Risk
- v. Fire Safety
- vi. Biodiversity
- vii. Consultees

i Design

Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.

The Councils SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.

The Councils SPD relating to House Extensions states that roof extensions in front of a house should be avoided. It goes on to state that extensions should be kept in-scale and that dormer windows and other roof extensions must not project above the ridgeline. Roof extensions should not dominate the original roof. Dormer windows should be smaller than that of windows of the floor below. Existing profiles should be kept.

The proposed rear dormer roof extension would be generous in size but as a fall-back position, a generously sized rear roof extension could be actioned under permitted development legislation.

Generously sized rear roof extensions form part of the established character of this stretch of the road. As witnessed on aerial imagery below:



The fenestration of rear roof extensions varies in the immediate locality. The glazing for the roof extension would not be dissimilar to what has been deployed at No's 29 and 31 which are circled in red above. The fenestration would appear acceptable in this regard. The glazed balustrade is acceptable as it would appear lightweight and can be implemented under permitted development. Whilst the dormer extension is larger than what would usually be allowed under the Council's SPD relating to House Extensions, given the generously sized roof extensions are part of the established character of this stretch of the road and the fall-back position, the dormer roof extension is acceptable.

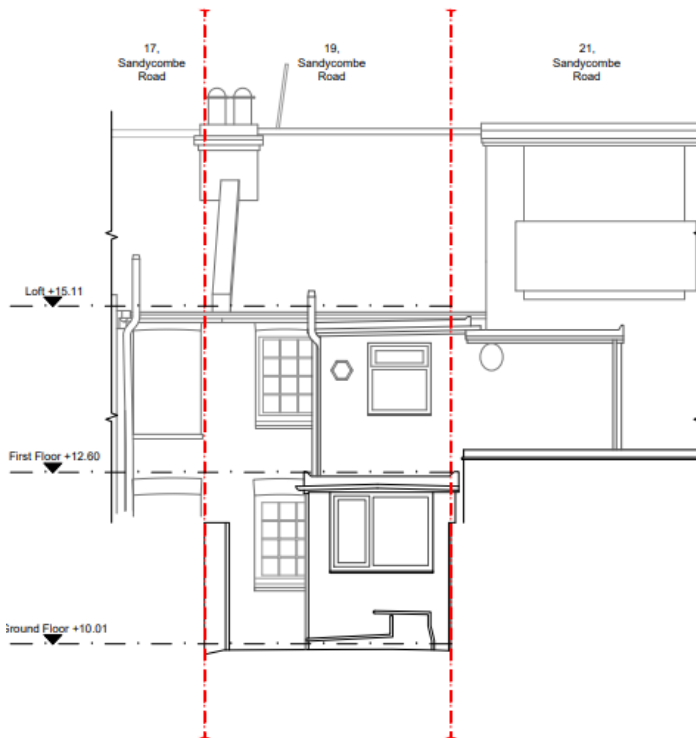


Fig. 1 Existing rear elevations

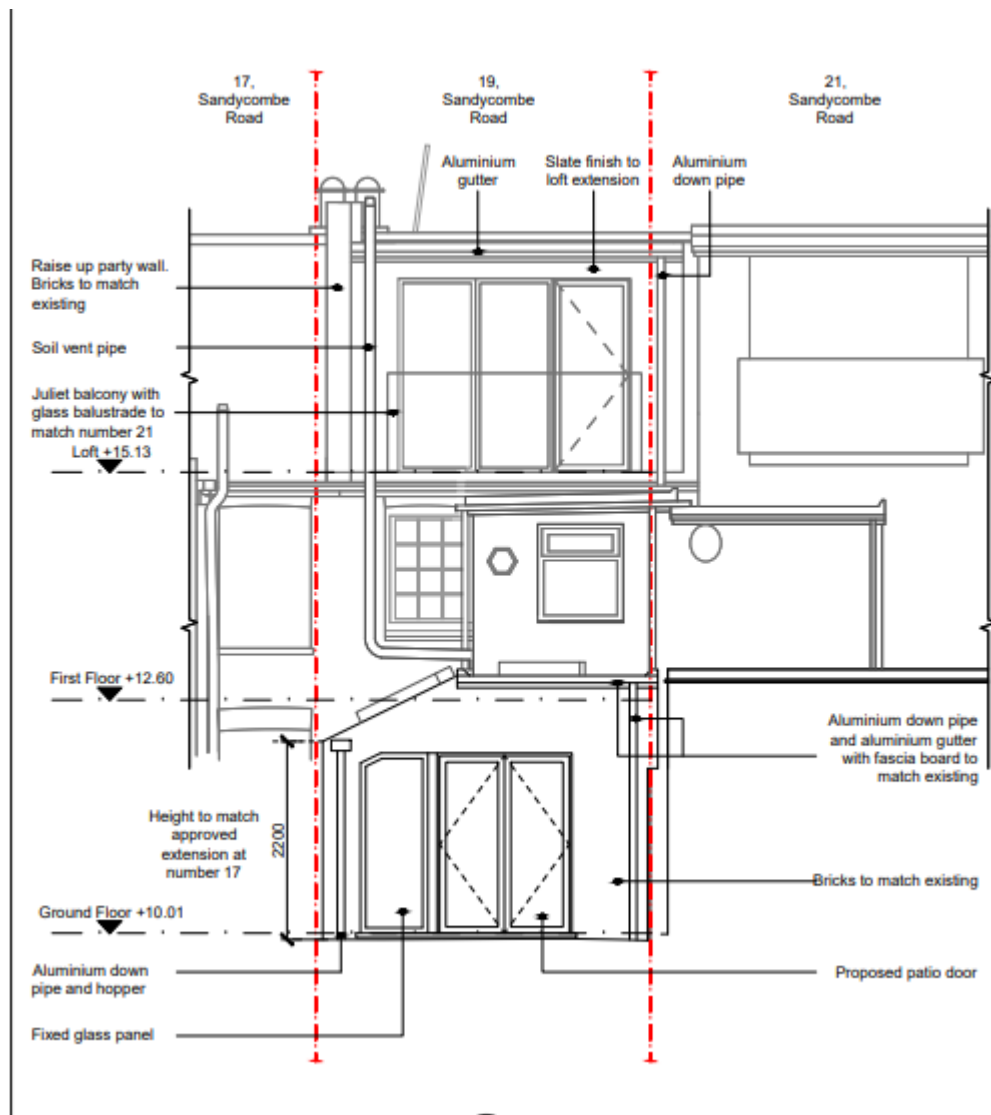


Fig 2. Proposed rear elevations

The proposed single-storey rear infill extension would have a mono-pitched roof form. It would be built from complementary materials. It would not appear excessive in height or footprint. It would serve as an obvious addition to the host dwelling. Rear extensions of this size and scale are not uncommon as demonstrated by aerial photographs of the immediate locality.

Front rooflights can be actioned under permitted development at the subject property and do not require planning approval. Given this and the presence of rooflights along the front roofslopes of neighbouring properties, no objections are raised.

Removal of chimney is also something which does not require planning permission. No objections are raised.

In view of the above, the proposal complies with the aims and objectives of policies LP1 of the Local Plan and policy 28, of the Publication Local Plan.

ii Impact on neighbour amenity

Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.

The SPD on House Extensions and External Alterations notes that generally an extension of 3m in depth for a terrace property will be acceptable. Where the proposed extension seeks a larger depth, the eaves should be reduced to 2.2m at the shared boundary to mitigate detrimental impact on neighbours such as sense of enclosure or overbearing. However, the final test of acceptability is dependent on the specific circumstances of the site which may justify greater rear projection.

No. 17 is adjacent to the south. This does contain rear fenestrations. The ground floor rear extension would be 2.2m to the eaves in compliance with the House Extensions and External Alterations SPD. Therefore, the extension would have a neutral impact upon the amenities enjoyed by the inhabitants of neighbouring properties. The proposed glazing deployed within the extension would not lead to material increases in the levels of overlooking from linear and lateral views given its size, scale, profile and siting.

No. 21 to the north already benefits from a rear extension and the proposal will not project to any notable degree beyond this so neighbour amenity impacts are not anticipated here.

The rear dormer roof extension would be contained within the roofspace of the application dwelling and as such, would not lead to a material loss of light or outlook afforded to the inhabitants of neighbouring properties. The rear dormer glazing would not lead to material increases in the levels of overlooking compared with the existing situation.

iii Trees

Policies LP15 and LP16 seek to protect biodiversity and health and longevity of trees, woodland and landscape in the borough. Local Plan policy LP16, subsection 5 requires;

"That trees are adequately protected throughout the course of development, in accordance with British Standard 5837 - Trees in relation to design, demolition and construction, Recommendations (2012)."

The site is outside a Conservation Area and there are no TPO trees on or adjacent to the site. There are no trees of high or civic amenity value in close proximity to the scheme which would be impacted. The proposal is compliant with the above policies.

iv Flood Risk

Policy LP21 of the Local Plan and Policy 8 of the Publication Local Plan relates to flood risk. The site is within flood zone 1 but it is in a throughflow catchment area. Finished floor levels would be no lower than existing and the vast majority of new built form is located at roof level. Part H [drainage] of the Building regulations would need to be adhered to in any event. Given the above, the scheme would not materially increase throughflow flooding. Such flooding is predominantly impacted by basement works which in this case are not being proposed. The scheme is compliant with Policy LP21 of the Local plan and 8 of the Publication Local Plan.

v Fire Safety

Policy D12 of the London Plan relates to fire safety. A fire safety statement has been submitted which meets the aims and objectives of the London Plan. A condition would be imposed to ensure the scheme adheres to this statement on an ongoing basis. This does not override the need for the scheme to comply with the fire safety aspects of the building regulations.

vi Biodiversity

Biodiversity net gain became mandatory for minor developments on applications made from 2nd April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a householder application.

vii Consultees

Cadent Gas Pipeline

No comments have been received from Cadent gas at the time of writing this report
Given the works would not lead to significant levels of excavation it is not considered the scheme would be demonstrably harmful to the gas pipeline.

Network Rail

No comments have been received from Network rail at the time of writing this report. Given the distance from the railway, the scheme would not materially impact on the operation or safety of the railway.

London Underground

No comments have been received from London Underground at the time of writing this report. Given the distance from the railway/underground network, the scheme would not cause harm to its operation.

7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team

8. RECOMMENDATION

This recommendation is made following careful consideration of all the issues raised through the application process.

Grant planning permission

Paragraph 11 of the Framework explains how the presumption in favour of sustainable development applies. For the reasons set out above, this application falls to be determined in accordance with the test under section 38(6) of the 2004 Act, the proposal is in general conformity with the Development Plan overall and there are no material considerations of sufficient weight to justify refusal.

Recommendation:

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

I therefore recommend the following:

- | | | |
|----|----------------------|-------------------------------------|
| 1. | REFUSAL | <input type="checkbox"/> |
| 2. | PERMISSION | <input checked="" type="checkbox"/> |
| 3. | FORWARD TO COMMITTEE | <input type="checkbox"/> |

This application is CIL liable

<input type="checkbox"/> YES*	<input checked="" type="checkbox"/> NO
(*If yes, complete CIL tab in Uniform)	

This application requires a Legal Agreement

<input type="checkbox"/> YES*	<input checked="" type="checkbox"/> NO
(*If yes, complete Development Condition Monitoring in Uniform)	

This application has representations online
(which are not on the file)

<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
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This application has representations on file

<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO
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Case Officer (Initials): ...SJH

Dated:24.10.2024

I agree the recommendation:

Senior Planner

Dated: EMC 25.10.24

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management:

Dated: