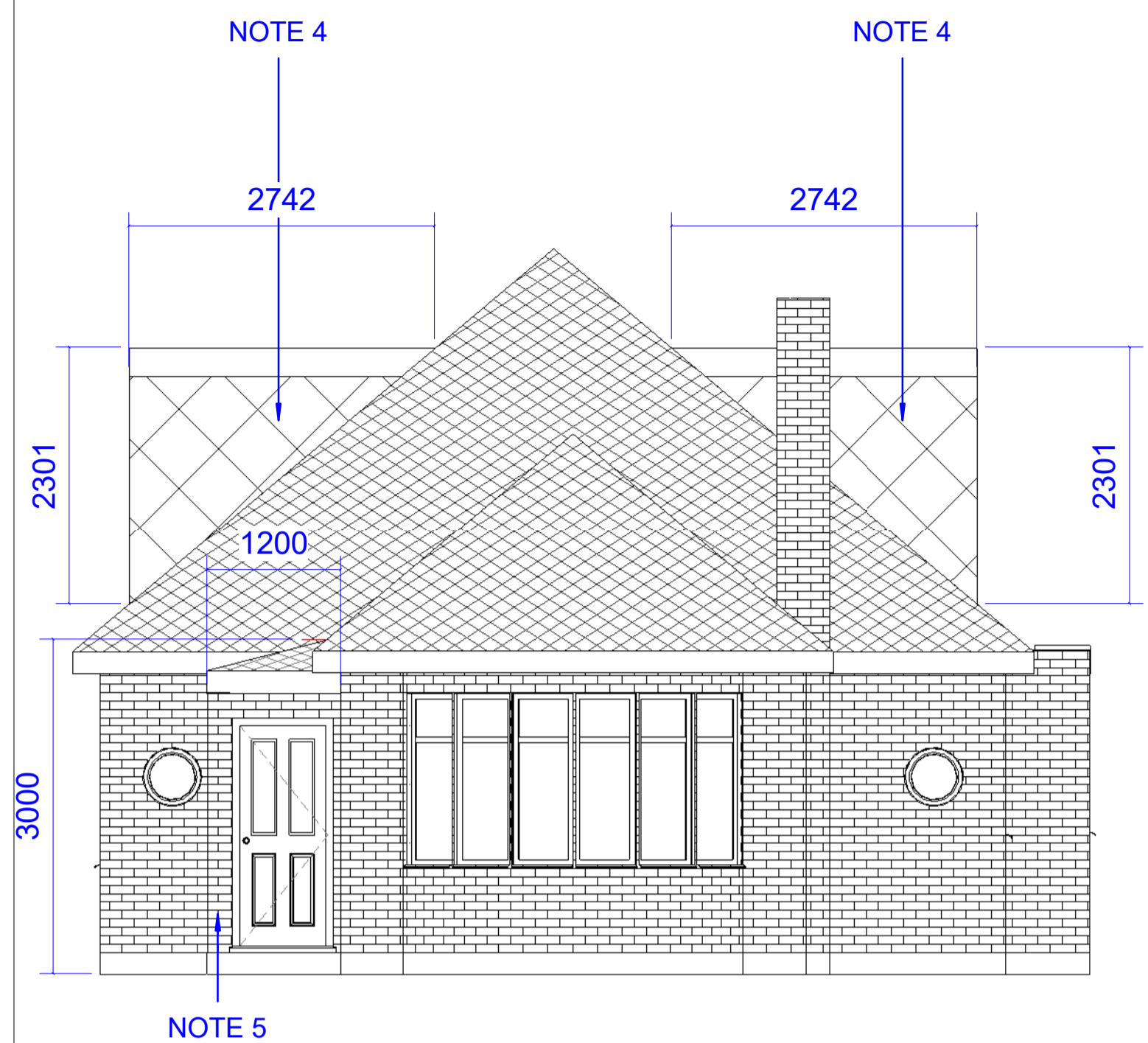
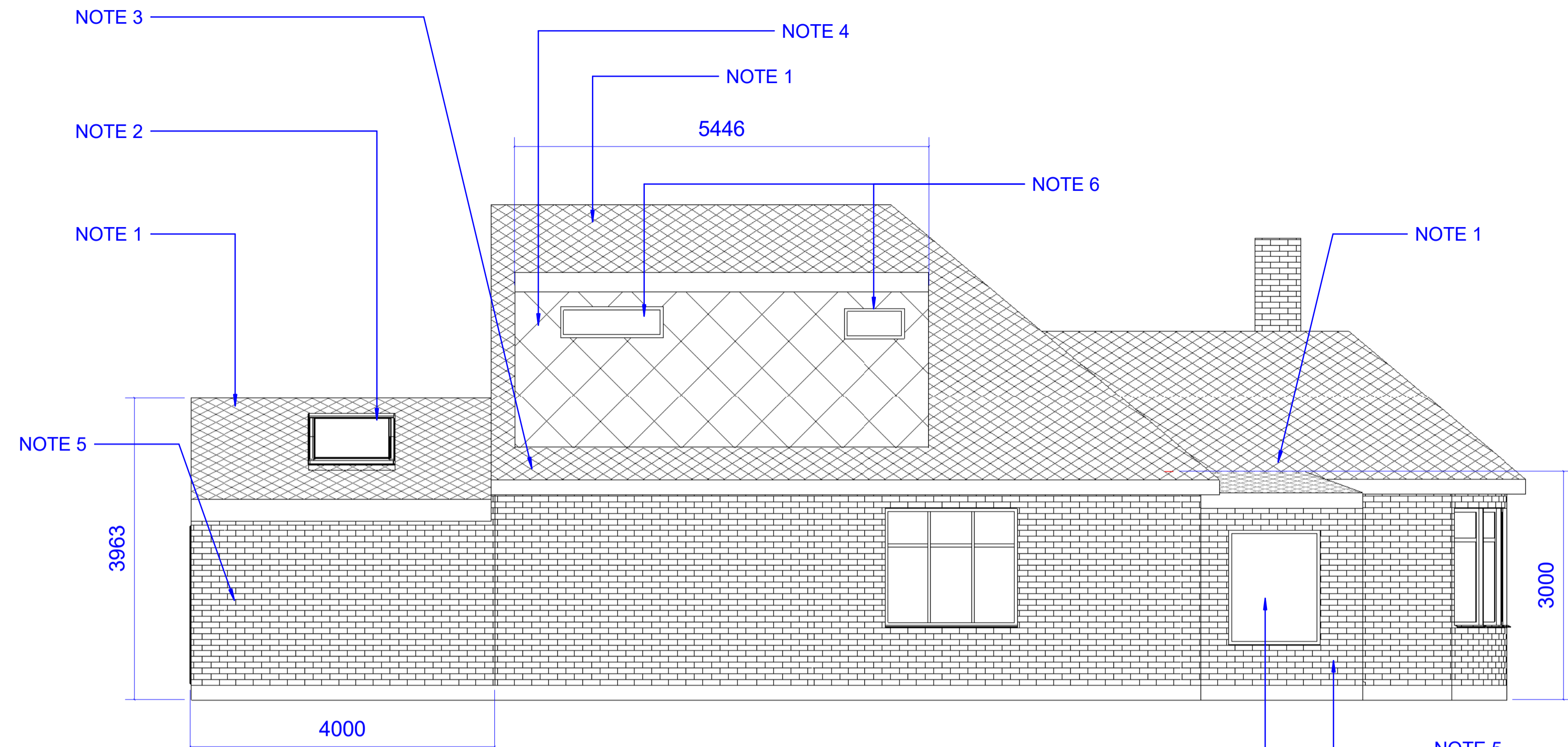


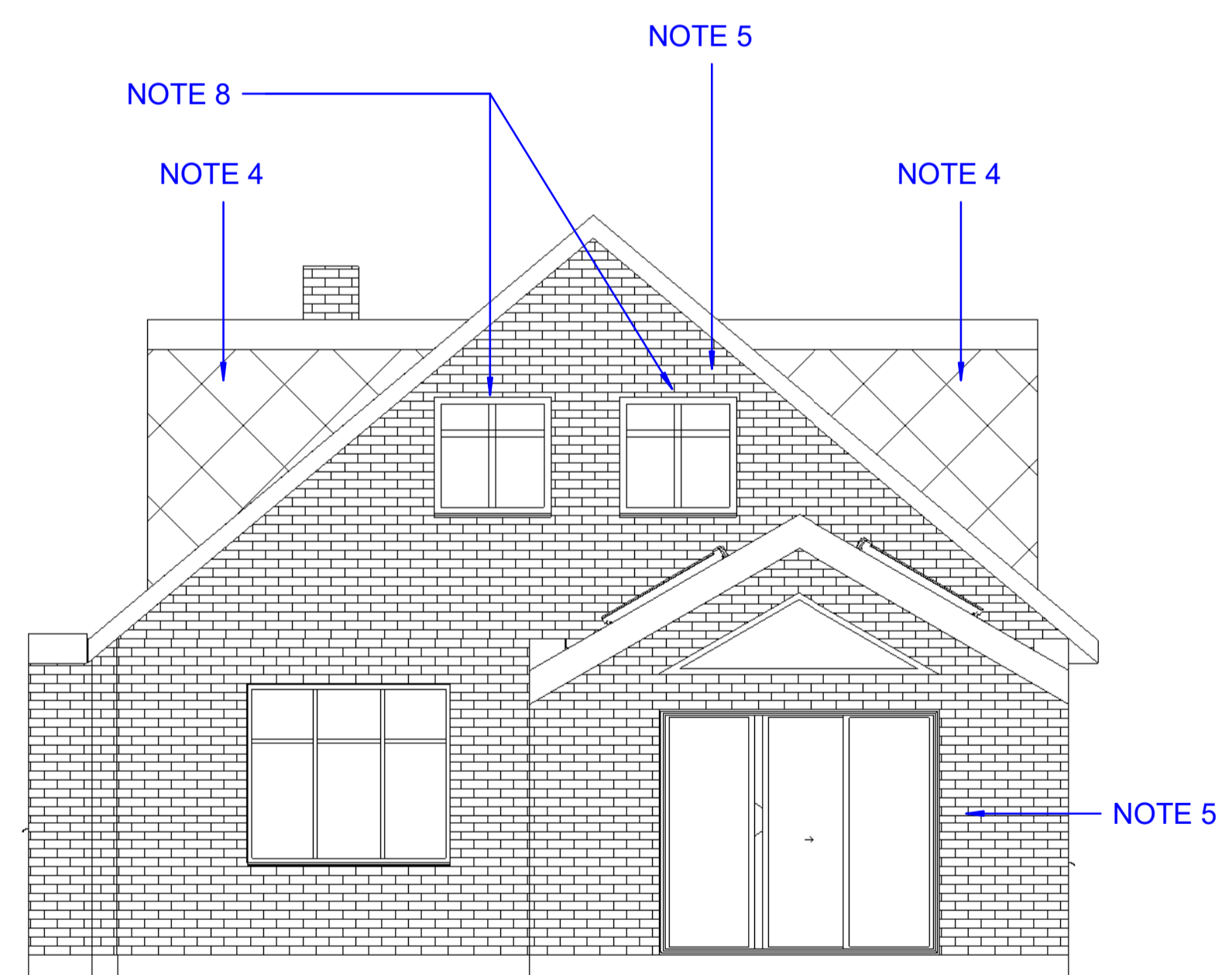
1. All dimensions in millimeters unless otherwise specified.
2. The contractor to check all dimensions, angles, drain runs and conditions on site before works commencement.



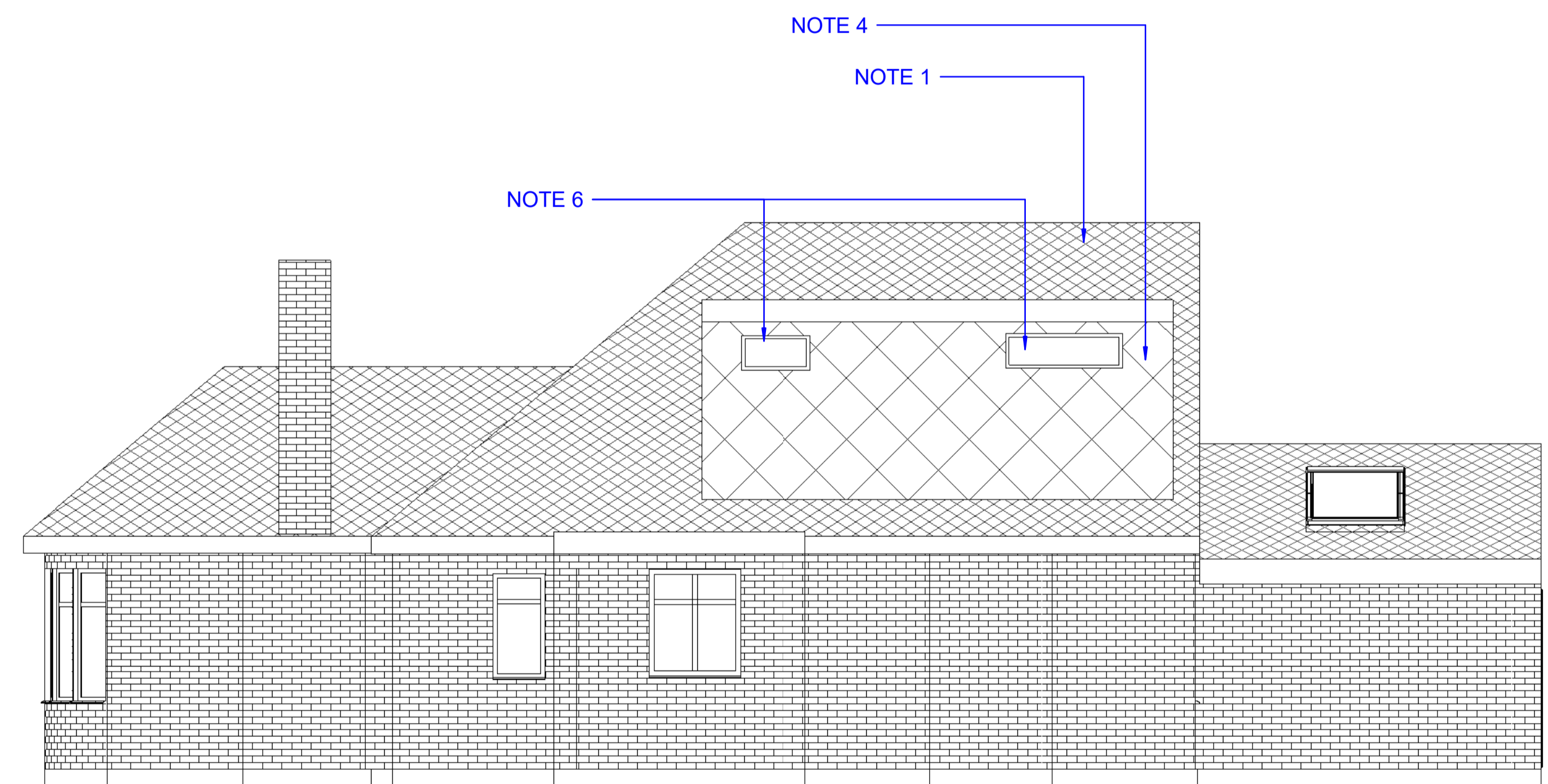
1 Proposed Front Elevation
1 : 50



3 Proposed West Elevation
1 : 50



2 Proposed Rear Elevation
1 : 50



4 Proposed East Elevation
1 : 50

NOTE 1 - NEW ROOF TILES TO MATCH EXISTING ROOF

NOTE 2 - NEW ROOF WINDOWS TO PROJECT NO MORE THAN 150mm ABOVE SLOPE OF ROOF

NOTE 3 - MINIMUM OF 0.3M FROM EAVES TO EDGE OF THE ENLARGEMENT TO BE MEASURED ALONG THE ROOF SLOPE FROM THE EDGE OF THE ENLARGEMENT TO THE OUTER EDGE OF THE EAVES. THE ENLARGEMENT CANNOT OVERHANG THE OUTER FACE OF THE WALL OF THE ORIGINAL HOUSE.

NOTE 4 - TILES TO MATCH EXISTING ROOF

NOTE 5 - NEW BRICK WALL TO MATCH EXISTING WALLS

NOTE 6 - MIN 1700FFL NON OPENABLE WINDOW WITH OBSCURE GLASS

NOTE 7 - OBSCURE GLASS PANEL

NOTE 8 - WINDOWS TO MATCH EXISTING WINDOWS

Rev.	Date	Seq	BY	Description
02	07.11.2024	2		Comments Incorporated
01	10.09.2024	1	MK	Issue for Planning



22 Micklefield Way, Borehamwood, WD6 4LG
office@mkcreative.me.uk

Client:
Barbara Bantock

Project:
11 Cole Park Gardens TW1 1JB

Drawing area:

Drawing Title:
ELEVATIONS - PROPOSED

LOFT VOLUME CALCULATIONS:
EACH DORMER
 $(2.3 \times 2.75 \times 5.45)/2 = 17.24m^3$
 $2 \times 17.24m^3 = 34.48m^3$

Approved By: BB Date: 10.09.2024

Checked By: BB Scale: As indicated

Drawn By: MZ Size: A1

Status:
FOR PLANNING

Drawing No. 11 COLE - 007 Rev. 02