

## Application reference: 24/2330/HOT BARNES WARD

Date application received	Date made valid	Target report date	8 Week date
17.09.2024	17.09.2024	12.11.2024	12.11.2024

### Site:

64 Boileau Road, Barnes, London, SW13 9BL

### Proposal:

Part single, part two-storey rear/side extensions. Porch addition. Rear dormer and roof lights. Alterations to fenestrations.

Status: Pending Decision (If status = HOLD please check that all is OK before you proceed any further with this application)

### APPLICANT NAME

Dr. Yang Yang  
64 Boileau Road  
Barnes  
London  
SW13 9BL

### AGENT NAME

Ghlenn Perry Capuyan  
8 Herbert Road  
London  
SW19 3SH

**DC Site Notice:** printed on and posted on and due to expire on

### Consultations:

**Internal/External:**

**Consultee**

**Expiry Date**

### Neighbours:

Flat 4,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
Flat 2,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
Flat 6,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
Flat 5,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
Flat 3,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
Flat 1,125 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
123 Castelnau,Barnes,London,SW13 9EL, - 18.09.2024  
113 Stillingfleet Road,Barnes,London,SW13 9AF, - 18.09.2024  
63 Boileau Road,Barnes,London,SW13 9BW, - 18.09.2024  
30 Stillingfleet Road,Barnes,London,SW13 9AE, - 18.09.2024  
61 Boileau Road,Barnes,London,SW13 9BN, - 18.09.2024  
66 Boileau Road,Barnes,London,SW13 9BL, - 18.09.2024  
62 Boileau Road,Barnes,London,SW13 9BL, -

### History: Development Management, Appeals, Building Control, Enforcements:

#### Development Management

Status: GTD

Date:07/10/1998

Application:98/0980

Proposed Alterations And Extension To Existing Ground Floor Flat 1 And Construction Of A New 3 Bed/5 Person Detached House Adjacent To Existing Building.

#### Development Management

Status: GTD

Date:14/01/1999

Application:98/0980/DD01

Details Pursuant To Condition Bd11u (bin Store), Dv33 (boundary/fencing) And La11u (landscaping) Of Planning Permission 98/0980/ful Dated 1/10/98.

<u>Development Management</u> Status: GTD Date:01/02/1999	Application:98/0980/DD02 Details Pursuant To Condition Bd12 Of Planning Permission 98/0980/ful Dated 1/10/98.
<u>Development Management</u> Status: GTD Date:02/07/1999	Application:98/0980/DD03 Details Pursuant To Condition Bd12 (materials) Of Planning Permission 98/0980/ful Dated 1/10/98.
<u>Development Management</u> Status: GTD Date:24/04/1974	Application:74/0279 Erection of two-storey three-bedroomed house with integral car port.
<u>Development Management</u> Status: GTD Date:04/11/1975	Application:75/1016 Conversion and use of a single-family dwelling house into four self-contained flats for elderly people.
<u>Development Management</u> Status: REF Date:20/02/2023	Application:23/0078/ES191 Use as a single dwelling house.
<u>Development Management</u> Status: GTD Date:14/08/2023	Application:23/1926/PS192 Conversion to single dwelling as per requirement of condition 1 of planning permission 75/1016.
<u>Development Management</u> Status: REF Date:28/12/2023	Application:23/2580/HOT Part single, part two storey rear/side extensions. Porch addition. Rear dormer roof extension. roof lights. Alterations to existing fenestrations.
<u>Development Management</u> Status: GTD Date:12/07/2024	Application:24/1306/HOT Part single, part two storey rear/side extensions and from porch addition. Alterations to existing roof to create a habitable second floor with a rear dormer, roof light additions and alterations to existing fenestrations.
<u>Development Management</u> Status: PDE Date:	Application:24/2330/HOT Part single, part two-storey rear/side extensions. Porch addition. Rear dormer and roof lights. Alterations to fenestrations.
<u>Building Control</u> Deposit Date: 18.01.1999 Reference: 99/0080/FP	Single storey rear extension
<u>Building Control</u> Deposit Date: 09.01.2024 Reference: 24/0030/IN	Conversion of flats back into a single refurbished residential two storey house
<u>Building Control</u> Deposit Date: 16.07.2024 Reference: 24/0858/IN	Part Single, Part Two Storey Rear/Side Extension and Form Porch Addition. Alterations to Existing Roof to Create a Habitable Second Floor with a Rear Dormer and Roof Light Additions and Alterations to Existing Fenestrations
<u>Enforcement</u> Opened Date: 19.06.2024 Reference: 24/0295/EN/UBW	Enforcement Enquiry

<b>Application Number</b>	<b>24/2330/HOT</b>
<b>Address</b>	<b>64 Boileau Road, Barnes, London, SW13 9BL</b>
<b>Proposal</b>	<b>Part single, part two-storey rear/side extensions. Porch addition. Rear dormer and roof lights. Alterations to fenestrations.</b>
<b>Contact Officer</b>	<b>Kerry McLaughlin</b>

## 1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer has considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer is taking into account the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

## 2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The proposal property is a two-storey, detached dwelling, located on the eastern side of Boileau Road.

The application site is subject to the following planning constraints:


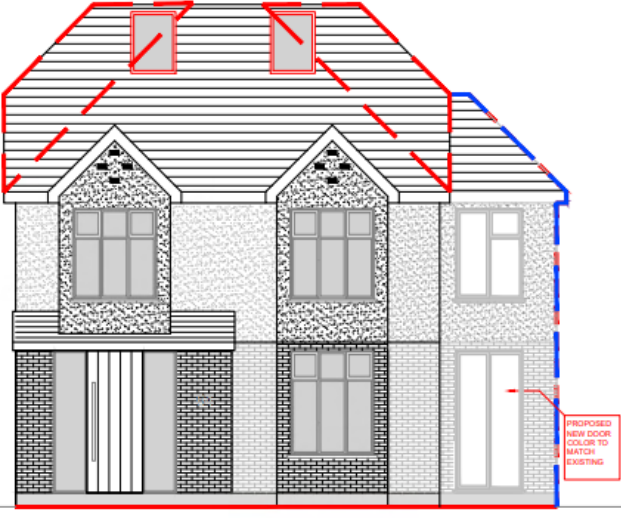
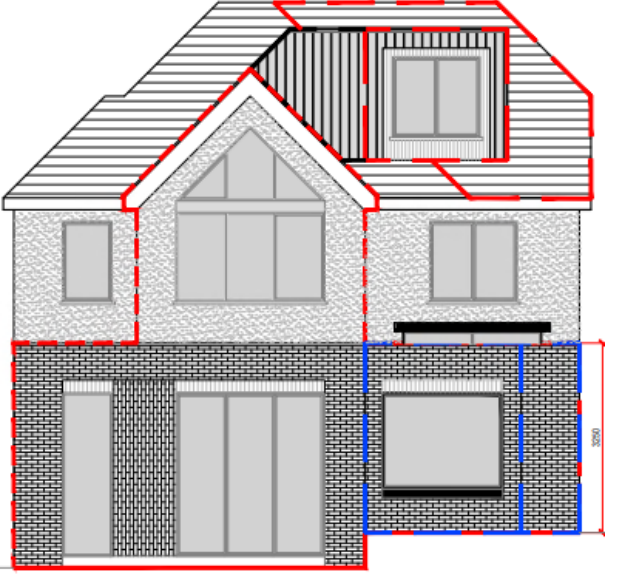
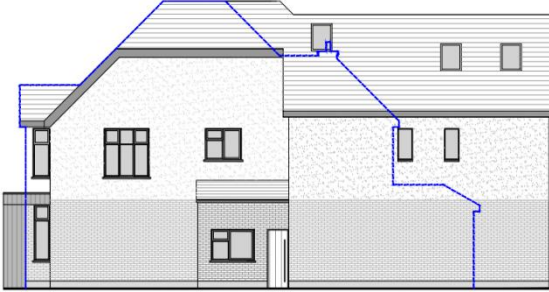
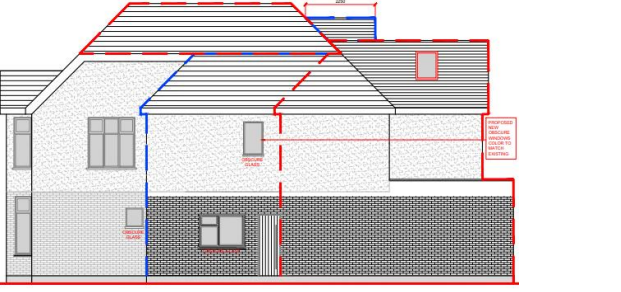

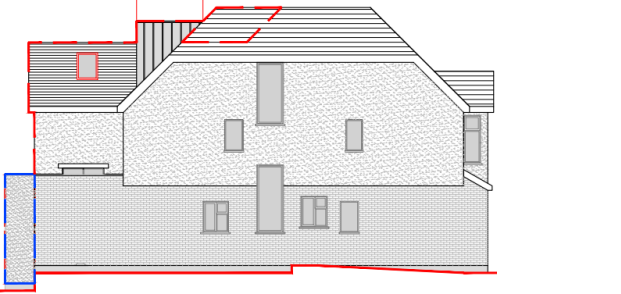
Area Benefiting Flood Defence - Environment Agency.	Areas Benefiting from Defences
Area Susceptible to Groundwater Flood - Environment Agency	Superficial Deposits Flooding - >= 75% - SSA Pool ID: 1529
Article 4 Direction Basements	Article 4 Direction - Basements / Ref: ART4/BASEMENTS / Effective from: 18/04/2018
Floodzone 2	Tidal Models
Floodzone 3	Tidal Models
Increased Potential Elevated Groundwater	GLA Drain London
Risk of Flooding from Surface Water 1 in 1000 chance - Environment Agency	RoFSW Extent 1 In 1000 year chance - SSA Pool ID: 97893
SFRA Zone 3a High Probability	Flood Zone 3
Surface Water Flooding (Area Less Susceptible to) - Environment Agency	
Village	Barnes Village
Village Character Area	West of Boileau Road/Lowther Estate - Character Area 1 Barnes Village Planning Guidance Page 17 CHARAREA04/01/01
Ward	Barnes Ward

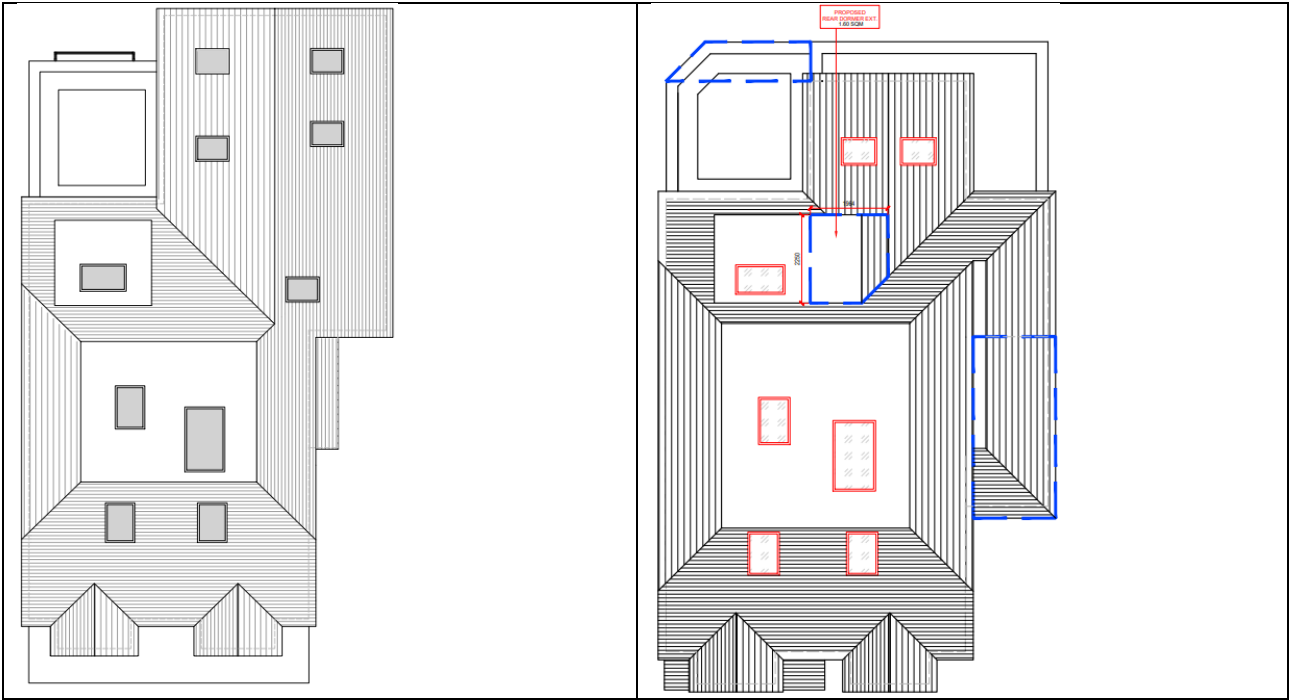
## 3. RELEVANT PLANNING HISTORY

The comprehensive list of planning history can be found above however the most relevant planning history is as follows:

Ref	Proposal	Decision
24/1306/HOT	Part single, part two storey rear/side extensions and from porch addition. Alterations to existing roof to create a habitable second floor with a rear dormer, roof light additions and alterations to existing fenestrations.	Granted Permission
24/P0005/PREAPP	Part single, part two storey rear/side extensions and from porch addition. Alterations to existing roof to create a habitable second floor with a rear dormer, roof light additions and alterations to existing fenestrations.	Advice Provided
23/2580/HOT	Part single, part two storey rear/side extensions. Porch addition. Rear dormer roof extension. roof lights. Alterations to existing fenestrations.	Refused Permission

23/1926/PS192	Conversion to single dwelling as per requirement of condition 1 of planning permission 75/1016.	Granted Permission
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Previously Refused (23/2580/HOT)	Currently Proposed (24/2330/HOT) Blue line denotes extent of proposal under this current application, red line denotes extent of proposal approved under 24/1306/HOT.
	
	
	
	



**4. CONSULTATIONS CARRIED OUT**

The list of neighbours notified of this application are listed above.

1 letter of objection has been received. This comment is summarised as follows:

- The application is closer in size to the previously rejected application 23/2580/HOT.
- Overbearing

Neighbour amenity considerations are assessed under Section 7 in the report below.

**5. AMENDMENTS**

None.

**6. MAIN POLICIES RELEVANT TO THE DECISION**

**NPPF (2023)**

The key chapters applying to the site are:

- 4 - Decision-making
- 12 - Achieving well-designed places
- 14 - Meeting the challenge of climate change, flooding and coastal change

These policies can be found at:

[https://assets.publishing.service.gov.uk/media/65819679fc07f3000d8d4495/NPPF\\_December\\_2023.pdf](https://assets.publishing.service.gov.uk/media/65819679fc07f3000d8d4495/NPPF_December_2023.pdf)

**London Plan (2021)**

The main policies applying to the site are:

- D4 - Delivering good design
- D12 - Fire Safety
- SI12 - Flood risk management

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan/new-london-plan/london-plan-2021>

**Richmond Local Plan (2018)**

The main planning considerations applying to the site and the associated Local Plan policies are:

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP1	Yes	No

Amenity and Living Conditions	LP8	Yes	<del>No</del>
Flood Risk and Sustainable Drainage	LP21	Yes	<del>No</del>

These policies can be found at

[https://www.richmond.gov.uk/media/15935/adopted\\_local\\_plan\\_interim.pdf](https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf)

### **Richmond Publication Local Plan (Regulation 19 version)**

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will apply.

Where relevant to the application under consideration, this is addressed in more detail in the assessment below.

Issue	Local Plan Policy	Compliance	
Local Character and Design Quality	LP28	Yes	<del>No</del>
Amenity and Living Conditions	LP46	Yes	<del>No</del>
Flood Risk and Sustainable Drainage	LP8	Yes	<del>No</del>

These policies can be found at [https://www.richmond.gov.uk/draft\\_local\\_plan\\_publication\\_version](https://www.richmond.gov.uk/draft_local_plan_publication_version)

### **Supplementary Planning Documents**

House Extension and External Alterations

Barnes Village Plan

These policies can be found at:

[https://www.richmond.gov.uk/services/planning/planning\\_policy/local\\_plan/supplementary\\_planning\\_documents\\_and\\_guidance](https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance)

## **7. EXPLANATION OF OFFICER RECOMMENDATION**

The key issues for consideration are:

- i Design/Visual Amenity
- ii Neighbour Amenity
- iii Flood Risk
- iv Biodiversity

### **Issue i - Design/Visual Amenity**

*Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.*

*The Councils SPD relating to House Extensions and External Alterations states that the overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. It should harmonise with the original appearance, either by integrating with the house or being made to appear as an obvious addition.*

*With regards to two storey side and rear extensions, the Councils SPD states that two storey side and rear extensions should not be greater than half the width of the original building, to ensure the extension does not appear over-dominant. In addition, the SPD states the following:*

- *Avoid side extensions that project beyond the existing front elevation. A set back of 1m behind the front elevation would be desirable.*
- *Infilling of gaps should be avoided. Consequently, the two storey side extensions should be sited 1m from the side boundary to achieve this.*

*The Supplementary Planning Document (SPD) on House Extensions and External Alterations gives advice on dormers noting that they should be avoided to the front elevation and should remain in scale with the existing structure through not raising or projecting above the ridgeline. Dormers should not dominate the original roof and so significant areas should be left beneath and to either side of any proposed dormer. Windows within dormers should be smaller than those on the floor below.*

*The SPD on House Extensions and External Alterations notes that the doors and windows are an integral part of the house which should be in keeping with its overall style, age and character. Windows are an important feature and an inappropriate choice can spoil an otherwise satisfactory design. The SPD states the following about doors and windows:*

- *Full-length glass doors should be avoided.*
- *Windows should maintain existing detail and style with the main windows in the house.*
- *Avoid mixing window styles.*

*With regards to porches, the House Extensions and External Alteration SPD states:*

- *“Adding a porch or canopy is one of the most significant changes a householder can make to the front of a house as it involves altering the shape of the house at its focal point, the entrance.*
- *Retain visual continuity - there is a risk of creating an eyesore.*
- *Match existing work - if a new porch is desired, it should enhance rather than detract from the original house, with the aim being to make the addition ‘belong’ to the house.*
- *Consider neighbouring properties - where front doors are paired, a joint scheme with the neighbouring owner should be considered.”*

The building forms part of a group of detached and semi-detached houses each comprising a unique form and design. Properties within the locality have been subject to somewhat extensive alterations, largely limited to ground floor and/or roof alterations in isolation from one another. When viewing the locality, two-storey side and/or rear extensions are present, all two-storey extensions present are SPD compliant in terms of width, and the form of the original property can still be appreciated.

#### *Two-Storey Side and Rear Extensions*

The two-storey rear extension as proposed under this current application is the same as that approved under planning application 24/1306/HOT. The rear extension will be no greater than half the width of the original building, as required under SPD. The depth of the rear extension remains significantly reduced from that previously refused under 23/2580/HOT, ensuring the extension does not over-dominate the building's original scale and character. Whilst it remains that the extensions combined will add a significant amount of mass, the site-specific circumstances here are such that the scale can be accepted. There is a staggered rear building line and the extension will follow that stepped approach from 66 to the more rearward siting of 62. The nature of the transition is such that the scale of the extension would not appear incongruous or overwhelming in this context.

The side extension is enlarged from that previously approved, being brought further forward, however the extension remains setback well in excess of 1m from the front elevation and will not infill an important visual gap between the host dwelling and neighbouring property (No.62). It is appropriately set down and hipped.

The roofs follow existing and proposed roof lines, and are set down from the ridge, allowing for the extensions to appear subordinate and as an obvious addition. Whilst the gable end to the two-storey rear extension will be somewhat dominant, given the overall height and width, it is not considered to be demonstrably harmful to local character.

#### *Single-Storey Rear Extension*

The proposal seeks to erect a single-storey rear extension. The extension comprises a flat roof, incorporating a skylight within. The height of the extension will be sited comfortably below the cill of the first-floor level fenestration, as required under SPD. Given the proposed dimensions in comparison to the existing built form, the rear extension will not appear overly dominant and will appear subordinate to the original building.

The amenity space in the rear garden would be reduced as a result of the proposal. However, the reduction will not be significant, when compared to the rear garden area and does not harm local character.

When viewed in the context of the neighbouring additions, it is considered that the proposed development would not harm the character and appearance of the surrounding area. Due to the siting, the single-storey rear extension will not form views from the front of the dwelling/street scene, having a neutral impact on the public realm.

#### *Exterior Materials*

No objections are raised against the mix use of render and facing brick to match the existing, which integrate well with the existing dwelling. Nor are any objections raised to the grey concrete roof tiles.

#### *Fenestration*

Proposals seek to replace the existing white framed fenestration with white aluminium framed fenestration, no objections are raised in this regard.

The proposed fenestration largely retains window hierarchy, as outlined in the 'House Extensions and External Alterations' SPD, with the exemption of two first floor flank facing windows. It should be noted however that the property does benefit from permitted development rights and windows could be inserted here under this legislation, as such there is no substantive grounds to refuse on this basis.

#### *Porch*

Various styles of porches can be seen along Boileau Road. The proposed porch is in scale with the host dwelling house and will not appear overbearing or dominant on the front elevation. Thus, the development will not result in an incongruous addition to the street scene or host dwelling.

#### *Dormer*

The scale and siting of the dormer is SPD compliant being sufficiently set up from the eaves, down from the ridge and in from sides of the roof profile as required under SPD, to ensure the extension remains in scale with the existing structure.

The dormer is to be finished in zinc cladding.

The proposed dormer fenestration will be of the same style as those on the main dwellinghouse and will be no larger in size than those on the floor below, in accordance with SPD.

#### *Roof Extension*

The form of the proposed roof works would be contrary to council policy. Taken on its own merits, the remodelling of the existing roof structure is observed to be of an excessive scale which would over-dominate the roofscape of the host property.

However, there are a variety of roof forms in the locality, particularly to the host group of detached dwellings, and having regard to the fallback position of utilising permitted development rights, which would allow for an additional 50m<sup>3</sup> roof volume, it is considered that there are material considerations to balance against the strict application of policy guidance.

As such, the replacement roof is considered acceptable in this instance, as it will not appear incongruous within the area, nor further detriment the overall visual amenity of the street scene.

The height of the ridge is reduced.

Replacement of the existing roof tiles is supported.

#### *Rooflights*

Rooflights on this dwelling could be undertaken under permitted development.

Rooflights are a common characteristic within the locality. The proposed rooflights are appropriately located, of an appropriate style and of an acceptable scale, and therefore are considered an acceptable addition to the streetscape and host dwelling.

Although some aspects of the scheme are not in strict conformity with the technical standards set out in the SPD, there are mitigating circumstances, as detailed above, to ensure that the scheme would not compromise the aims of adopted policy or cause demonstrable harm. Therefore, the proposed scheme is considered acceptable in terms of design/visual amenity. The proposal is not considered to detrimentally impact the character of the wider area or host building and therefore, is in line with the aims and objectives of policy LP1 of the Local Plan (2018), these policy objectives are taken forward in publication local plan policy LP28, and relevant supplementary planning documents.

## **Issue ii - Neighbour Amenity**

*Policy LP8 states that development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens. Harm may arise from various impacts such as noise, air pollution, odours or vibration.*

*The SPD on House Extensions and External Alterations notes that generally an extension of 4m in depth for a detached property will be acceptable. Where the proposed extension seeks a larger depth, the eaves should be reduced to 2.2m at the shared boundary to mitigate detrimental impact on neighbours such as sense of enclosure or overbearing. However, the final test of acceptability is dependent on the specific circumstances of the site which may justify greater rear projection.*

*With regard to dormer roof extensions, the SPD on House Extensions and External Alterations notes that where houses are terraced and/or have small gardens, overlooking should be minimised by restricting the side of the window and setting windows back from the eaves.*

The proposal would not cause an unreasonable loss of outdoor amenity space, as required under SPD.

The property would remain solely in residential use as a result of the proposal. An undue increase in noise or pollution would not occur as a result of the proposal.

### *Two-Storey Side and Rear Extensions*

The two-storey side and rear extension is sited to the south of the application site, and therefore any neighbouring amenity impact would be focussed to No.62.

The two-storey extensions will sit adjacent to the flank elevation of No.62, which does not comprise any openings along the facing flank elevation and the extension will not protrude beyond the rear elevation. The side extension does project forward past the front building line of this property but is seen in context with the existing building mass. With the hipped roof, and overall siting/scale, this is not considered demonstrably harmful. As such the proposal will not impact upon any windows at the neighbouring property, nor will it result any unreasonable loss of light/overshadowing.

It is considered that the extension would be set a sufficient distance from neighbouring property and of an appropriate scale to avoid appearing overbearing to no 66.

### *Single-Storey Rear Extension*

The SPD states single-storey rear extensions that project no more than 4m for a detached house would not normally cause any unreasonable loss of light or appear overbearing upon neighbouring properties, however, the final test of acceptability in terms of light would be compliance with the BRE standards.

In relation to the rear elevation of No.66, the proposed extension would project beyond the SPD recommended depth, however, due to the setback between neighbouring houses and its relationship to neighbouring habitable rooms/windows, the proposed extension would comply with the BRE test, as demonstrated on drawing number 03/08 A and would not cause any unreasonable loss of light. With regard to visual intrusion, it is considered that the extension would be set a sufficient distance from the site boundary and neighbouring property and of an appropriate scale to avoid appearing overbearing.

The proposal has been considered in the light of the local plan and compliance with supplementary planning documents as appropriate. It has been concluded that there is no demonstrable harm to No.66 which justifies withholding planning permission.

The proposed extension would project no more than 4m beyond the adjacent rear elevation of No's.62, this is considered an acceptable projection which would satisfy the guidelines set out in the House Extensions and External Alterations SPD. It is considered that the proposed single-storey rear extension will not result in any undue overbearing, loss of light, visual intrusion or create a sense of enclosure to this property.

As this proposal is at ground level only the proposal does not raise any issues in terms of loss of privacy.

### *Fenestration & Rooflights*

Whilst it is noted there is a significant increase in the overall size of the openings/glazed areas, the proposal will not result in any new onerous viewing angles above that which can already be achieved through the existing fenestration.

Any new flank facing openings will be conditioned to be obscure glazed and non-openable below 1.7m of the relevant floor level.

Thus, the proposal will not result in an increase in overlooking or raise any issues with regard to privacy on any neighbouring properties.

#### *Porch*

Given siting and nature no neighbouring amenity impacts are envisaged as a result of the porch extension.

#### *Dormer & Roof Extension*

Given siting, high vantage point and relationship to neighbouring habitable rooms and gardens, the proposed roof extension and rear dormer would not lead to an unacceptable sense of enclosure or appear overbearing, nor would there be any significant loss of daylight or sunlight to the habitable rooms of neighbouring properties.

There are a number of existing dormer roof extensions along Boileau Road, comprising rear facing windows, it is considered that a mutual level of overlooking occurs within the immediate vicinity, and the construction of the proposed dormer and associated works will not result in any unreasonable amount more.

The roof extension will sit adjacent to 62 and 66 Boileau Road, both of which comprise loft conversions. Given siting the roof extension will have limited impact upon the openings at No.62, which does not comprise any flank facing openings towards the proposal site.

No.66 comprises 1x first floor window and 1x rooflight within the southern elevation (facing the application site). With regard to the rooflight, this is a secondary window, this together with the position of the rooflight, the scheme will have minimal impact upon this opening. The first-floor window is already highly constrained in respect of its outlook given the close proximity to the existing flank wall of 64. The roof enlargement will further enclose the outlook to this window. Officers have not been able to determine the nature of the room served by this window but given its scale and siting, consider it unlikely to serve a habitable room. Noting that some enlargement of the existing roof could be undertaken utilising permitted development rights as a fallback position, it is not considered that the enlargement of the roof would result in demonstrable harm to warrant refusal of the application.

The proposed scheme is considered acceptable in terms of neighbour amenity. The proposal is not considered to detrimentally impact the amenities of any neighbouring occupiers and therefore, is in line with policy LP8 of the Local Plan (2018), these policy objectives are taken forward in publication local plan policy LP46, and relevant Supplementary Planning Documents/Guidance.

#### **Issue iii - Flood Risk**

*Policy LP21 of the Local Plan states 'All developments should avoid or minimise, contributing to all sources of flooding, including fluvial, tidal, surface water, groundwater and flooding from sewers, taking account of climate change and without increasing flood risk elsewhere.*

The application site is situated within flood risk zones 2, 3 & 3a, as well as an area susceptible to surface water flooding.

A Flood Risk Assessment (FRA) has been provided as part of this application to comply with the requirements of LP21 of the Local Plan (2018), these policy objectives are taken forward in publication local plan policy LP8, which confirms:

- "The proposed development fits within EA standing advice for domestic extensions.
- No additional residential units will be created as part of the development.
- The additional footprint created by the development will not exceed 250m<sup>2</sup>.
- Finished floor levels will be set no lower than existing floor levels.
- Internal access will be maintained from ground floor to the upper floors of the property.
- Flood proofing of the development will be incorporated as appropriate.
- A flood warning and evacuation plan will be implemented post development.
- The applicant will register with the free Environment Agency Floodline Alert Direct service.
- Due to the small scale of development, a full Surface Water Drainage Strategy is not required at this stage of planning for the main house as there are no proposed external alterations. However, SuDS features will be incorporated into the development where practically possible or will utilise the existing arrangement on site.

#### **Issue iv - Biodiversity**

Biodiversity net gain became mandatory for minor developments on applications made from 2<sup>nd</sup> April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a householder application.

#### **Other Matters**

**Fire Safety**

The applicant has submitted a 'Fire Statement' as required under policy D12 of the London Plan (2021).

The applicant is advised that alterations to existing buildings should comply with the Building Regulations. This permission is NOT a consent under the Building Regulations for which a separate application should be made.

**8. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS**

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is considered liable for the Mayoral and Richmond CIL however this is subject to confirmation by the CIL Administration Team.

**9. RECOMMENDATION**

Although some aspects of the scheme are not in strict conformity with the technical standards set out in the SPD, there are mitigating circumstances (established character of the area & fallback position) to ensure that the scheme would not compromise the aims of adopted policy or cause demonstrable harm. Therefore, in this case, there are circumstances to justify an exception to the strict application of guidance and policy.

**Grant planning permission with conditions**

**Recommendation:**

The determination of this application falls within the scope of Officer delegated powers - YES / ~~NO~~

**I therefore recommend the following:**

1.

REFUSAL

☐
2.

PERMISSION

☒
3.

FORWARD TO COMMITTEE

☐

This application is CIL liable

☐ YES\*

☒ NO

(\*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement

☐ YES\*

☒ NO

(\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)

☒ YES

☐ NO

This application has representations on file

☐ YES

☒ NO

Case Officer (Initials): KM

Dated: 06/11/2024

**I agree the recommendation:**

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management / South Area Team Manager has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

South Area Team Manager: .....ND.....

Dated: .....06.11.2024.....