



FLOOD RISK ASSESSMENT

9 Shrewsbury Avenue, SW14

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9 Shrewsbury Avenue, SW14 8JZ

Householder Planning Application: Proposal for the replacement roof, finished with new reddish clay tiles, additional roof light and a full width rear dormer between raised party walls

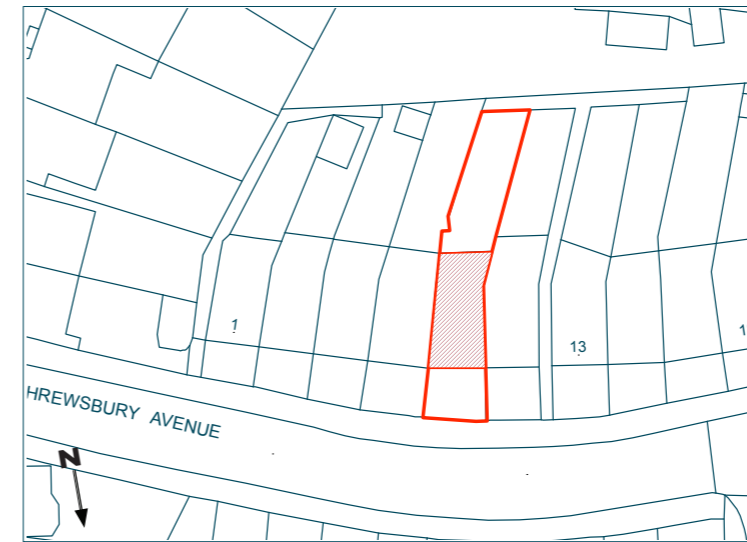
This Flood Risk Assessment has been prepared by ABL3 Architects on behalf of Mrs C Ford to support the planning application for the proposed works at 9 Shrewsbury Avenue, SW14 8JZ

Local Site Context

9 Shrewsbury Avenue is located on East Sheen Ward of Richmond Borough, west of Richmond Park Road.



Location Plan



Site Plan

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National Planning Policy Framework (NPPF) and the accompanying Technical Guidance

The aim of the NPPF (and the accompanying PP Technical Guidance) is to direct development away from areas at highest risk of flooding; where development is necessary, it should be made safe without increasing flood risk elsewhere.

The NPPF states that a Flood Risk Assessment (FRA) is required to support a planning application for developments that are in:

- Flood Zone 2 and/or Flood Zone 3
- Flood Zone 1 and comprise 1ha or above
- Identified as being increased flood risk in future by the local authority's strategic flood risk assessment
- At risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use (such as constructing an office on an undeveloped site or converting a shop to a dwelling)

Flood Zone 2 and/or Flood Zone 3

The Site is not within Zone 2 and/or Zone 3

Flood Zone 1 and comprise 1ha or above

The Environment Agency flood map is provided in Figure 1 below and shows that the site is located within Flood Zone 1. It is smaller than 1ha

Identified as being increased flood risk in future by the local authority's strategic flood risk assessment

The Site lies within Critical Drainage Area as identified by LBRUT Surface Water Management Plan as Group8_004 Richmond Centre & Mortlake (Figure 2)

The London Borough of Richmond Surface Water Management Plan (SWMP) dated June 2011 defines a CDA as 'a discrete geographic area (usually a hydrological catchment) where multiple and interlinked sources of flood risk (surface water, groundwater, sewer, main river and/or tidal*) cause flooding in one or more Local Flood Risk Zones during severe weather thereby affecting people, property or local infrastructure'.

At risk from other sources of flooding (such as surface water or reservoirs) and its development would increase the vulnerability of its use.

The Site lies within Area susceptible to groundwater flooding.

The proposal however is a minor amendment to the roof and second floor plan, consisting of replacement of roof tiles, rooflights and enlargement of the rear dormer. These changes, in our opinion, do not increase risk of flooding.

There will be no change in the area of impermeable surfaces on site, no underground structures are proposed, and there will be no change in water volume usage, thus no overloading the existing drainage systems.

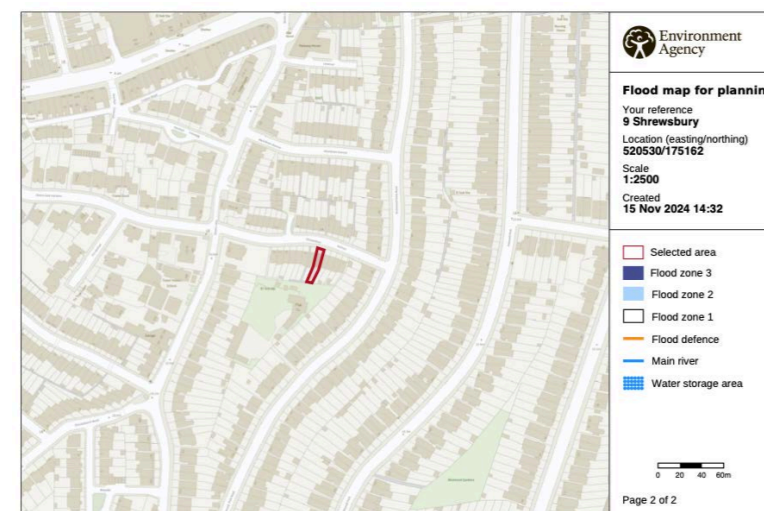


Figure 1: EA flood map showing the site in Flood Zone 1

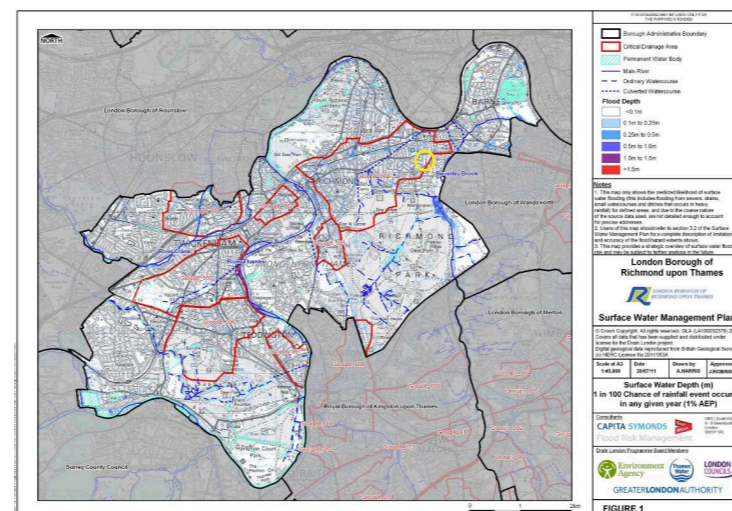


Figure 2: LBRUT Surface Water Management Plan map of CDAs

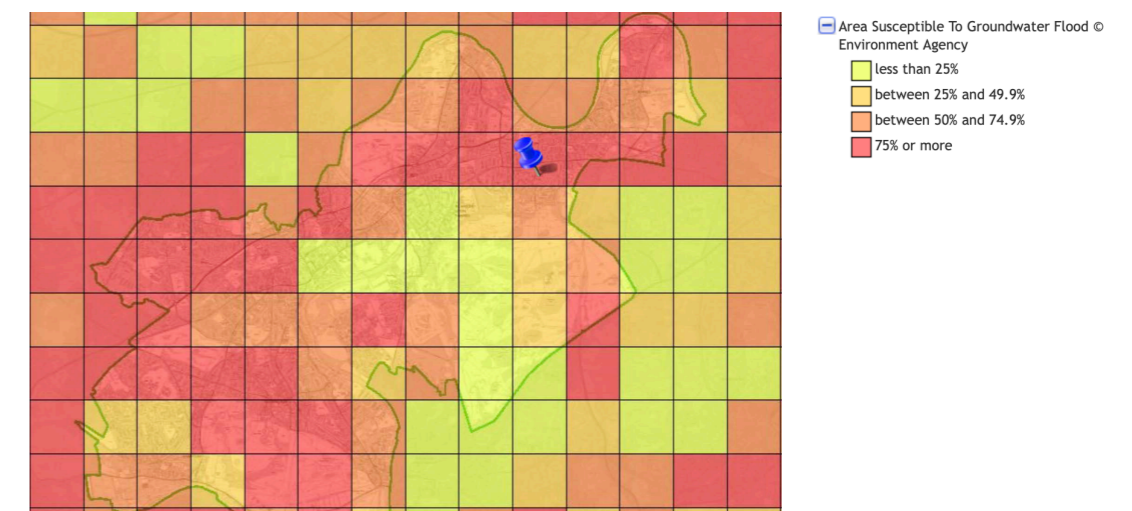


Figure 3: LBRUT's Groundwater Sewer Artificial Flood Risk Map