

32 The Green, Richmond, TW9 1LX

Heritage, Design & Access Statement November 2024



Figure 1: North-East façade of 32 The Green with no. 31 The Green to the left hand side. Photograph take June 2024

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1.1 Introduction

This application is for Listed Building Consent for internal works to reinstate walls, ceilings and heritage panels. It also includes for structural interventions to stabilise the existing property.

The application follows the approved external works applications 24/1992/HOT & 24/1993/LBC earlier in the year. There have been numerous planning consents granted for the property over several decade and construction works started post 2012, although these works halted several years ago. This application takes a holistic view to reinstate the property to a family dwelling

This Heritage, Design and Access Statement has been prepared by Claire Humphreys a Conservation Architect on the RIBA Register on behalf of the current owner of the property.

This report should be read in conjunction with;

- Planning drawings and details prepared by Shu Architects
- Photographic Audit June 2024
- Appendix A: Photos from 2008
- Structural drawings, calculations and supporting statement prepared by MNP Engineers

1.2 Existing Floor Plans

The adjacent plans are the existing floor plans. For this document and for clarity we have labelled each room

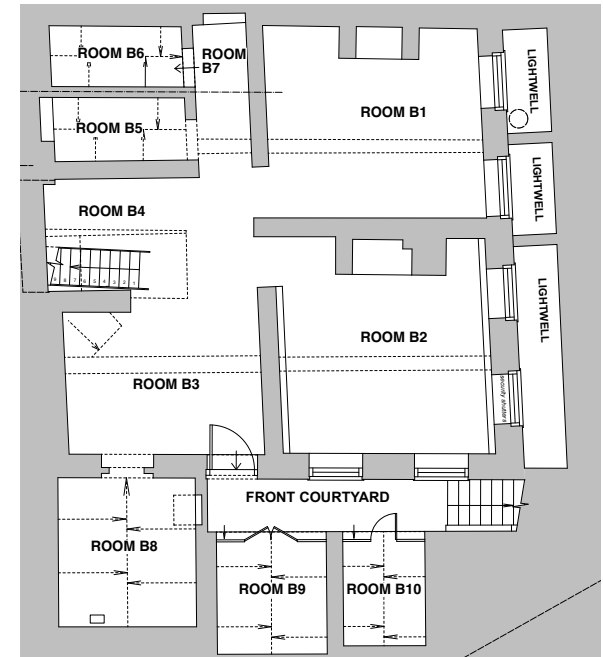


Figure 2a: Existing basement floor plan

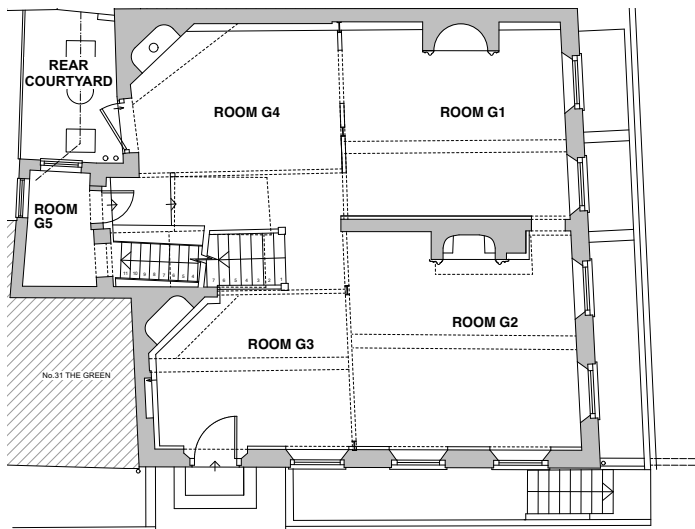


Figure 2b: Existing ground floor plan

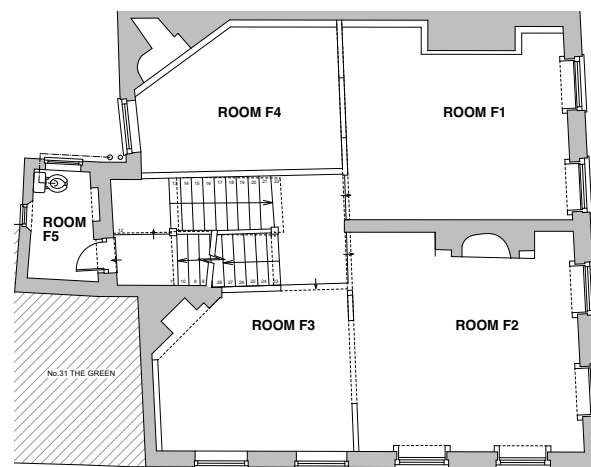


Figure 2c: Existing first floor plan

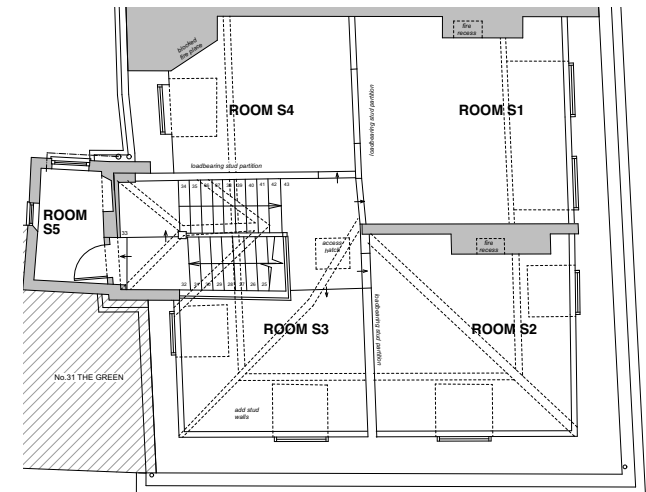


Figure 2d: Existing second floor plan

2.1 Heritage Setting

No. 32 The Green is a Grade II* Listed end of terrace building to the south side of the Richmond Green Conservation Area, Conservation Area No. 3 (fig 1 & 3).

External Main Building Setting

The listing description for no. 32 by Historic England (List Entry Number: 1357770) is as follows;

"Early C18 brick built with hipped tiled roof. Four windows wide. Two storeys high, with dormers. No 32 is the last house of the terrace, adjoining No 6 Old Palace Terrace, having 4 windows on each facade. Doorcases with carved pulvinated frieze and entablature on consoles. Square headed flush framed sash windows retaining glazing bars. Brick band between storeys. Interior not seen. "(, date first listed: 10-Jan-1950)

No. 32 sits directly adjacent to the heritage assets of no. 31 The Green and nos. 2-6 Old Palace Terrace (fig 4 & 5). No. 31 The Green is Grade II Listed (List Entry Number: 1065310) and its listing says it dates from the late 18th Century. Nos. 2-6 Old Palace Terrace are Grade II* Listed (List Entry Number: 1065312) and its listing says it dates from the early 18th Century.

Nos. 31 & 32 The Green along with nos 2-6 Old Palace terrace all sit within Character Area 3 : Old Palace Place / Terrace of the Richmond Green Conservation Area. The Conservation Area Appraisal describes the buildings to this south side of this character area as follows;

"The south-east and south sides of the square are characterised by terraces of listed town houses, ensuring a strong urban edge of very high-quality townscape. The block of which Old Palace Terrace forms a part is well defined and of exceptionally high-quality townscape. The south-east elevation is separated from the adjacent buildings by Paved Court, a narrow alley of York stone lined with small shops. This, together with Brewers Lane, is one of the most picturesque alleys in the town centre, containing many good quality shopfronts. Leading from King Street it emerges into a small open space by the Prince's Head Public House. This is a diverse space, with activity from nearby shops and outdoor pub seating; street trees, red phone boxes



Figure 3: No 32 The Green viewed from the North at the corner of The Green and Old Palace Terrace. Photograph taken June 2024



Figure 4: OS plan of the area with no. 32 highlight in red
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2.1 Heritage Setting (contd.)

and a Victorian drinking fountain. The quality of the buildings facing it give the space a human scale and a degree of tranquillity.”

Richmonds Council's Local History Note on the Richmond Green Properties for Brewers Lane to Paved Court gives the following information on this group of properties;

Numbers 29 to 32 :

“Although difficult to identify precisely from the rate books, one of these houses was known as Auster's Coffee House during the early part of the 18th century. number 32 was the home of John Powell.”

Old Palace Terrace, known as Powell's Row until 1850 :

“This fine row of six terraced house with number 32 was built in 1692 by Vestue Radford, a local barrister who bought and demolished the old house that stood on the site. The site had belonged to the Charterhouse of Shene until the dissolution of the monasteries when it contained five small cottages. By 1635 it was occupied by a single large house ‘Mr Kirkham’s. From 1732 it was known as Powell’s Row after a prominent tenant, but in 1851 the Vestry changed the name to Old Palace Terrace. In 1742, James Heidegger resided at number 2, this was one of the houses on the Green occupied by him at various times. Number 1 was for many years the premises of Lloyds, pharmaceutical chemists, first established in 1826 and an apothecary’s shop before that.”

No. 32 The Green shares the same architectural style, materials palette and scale as nos. 2-6 Old Palace Terrace; two primary storeys with a red brick façade and painted timber sash windows; a basement storey with white render finish and a perimeter lightwell; black painted railings to the pavement; a decorative painted timber box gutter with ornamental fascia; a tiled inhabited roof with lead clad dormer windows.

The brickwork to the North and East each has a black painted pattress plate fixed to the elevation at first floor level (Fig 1 & 3) suggesting there has been historic structural issues with the external wall.



Figure 5a: Aerial view of no. 32 and its adjacent properties from the North with labels for reference (Google Earth)



Figure 5b: Aerial view of no. 32 and its adjacent properties from the West with labels for reference (Google Earth)

2.1 Heritage Setting (contd.)

Rear Extension Setting

The rear extension to no. 32 which connects at the half landings is a later addition to the property, possibly mid 19th century. The view of the internal bare brickwork (fig 11) shows blocked openings to the half landings which are thought to be where external windows may well have been located. The ground floor wall structure to the extension is thought to be certainly older than the first and second floor. It is assumed it was constructed to provide internal sanitary provision.

Internal Setting

The principal floors to the property are the ground and first floor. All the walls to these floors including to the stairwell have or had timber panelling, with the rooms to the north having more ornate decoration to their window surrounds that the rooms to the south (fig 5, 7, 8, 9, Appendix A & Photographic Audit). The second floor and basement are far more modest in their design, with the basement presumed to have once housed the kitchen.

The upper staircase remains in place and has painted barley twist spindles (fig 7 & 10). The guarding to the top landing is not in place but it has been stored on site in Room G1. The stair to the basement is modern.

The property was used as an office between 1967 and 2008, after which it was returned to use as a family dwelling. Appendix A shows photos and plans from 2008 when the office was still in operation.

When it was an office at some point it was interconnected with no. 31 The Green, at the entrance hall level (fig 10) and at two points to the rear extension (fig 10). There is reference to the removal of the communicating doors to planning application in 1993 (planning reference 92/1570/LBC). There is also in this application reference to the fire upgrading works and dry lining to a room to the ground floor.

In 2008 the plans show that only three of the rooms retained their fire places, with most having been boarded over (Appendix A pages 3&4). The fire places and surrounds to rooms G1 & G2 are still in place in their respective rooms and appear to be original.

When the property became a dwelling in 2008 there was already a significant incline to the floors. In 2012 permission was granted (planning

references 12/2451/LBC & 14/4853/LBC) for the installation of a steel frame to the ground and the first floor. The need for the steel frame was due to the external walls beginning to move and the floor starting to incline more. The insertion of the steel frame required the removal of the walls to the stairwell and between the rooms to the north and south (fig 6). The wall panels to the external walls remain in place. The removed panels have been labelled and store on site ready for reinstallation.

The Photographic Audit that accompanies the application shows the condition of the internal areas of the property as it is now. There are also additional photos on the Shu Architects drawings 250-267, room elevations. It has been left mid-construction process and is generally in poor condition.

At some point between 2014 and 2024 a number of alterations took place to the internal areas. However we do not have a timeline for when these occurred.

Firstly, a timber stud to line the walls to panelling was introduced, although most of the historic panels remain behind. The structural engineer has confirmed the majority of the stud walls are non load bearing and the non-load bearing ones can be removed (fig 6, 9 & 10).

Secondly, the internal walls were levelled with a ply finish. The original timbers are retained below (fig 8 & 9).

Thirdly, the basement floor was lowered by approximately 380mm. This then had a concrete slab cast to the floor.

Finally, the plasterwork has been removed from the masonry walls to the rear walls of the stairwell. It can be seen that the position of the openings between the half landing and the extension seems to have been altered several times (fig 12 & 13).

As part of this application the property had a full review by a Conservation Engineer at MNP Civil and Structural Engineers and this has raised concern that the roof structure is still spreading, the upper walls are still moving outwards and the rear elevation and chimney breast is starting to detach from the main rear walls.

2.1 Setting & Significance (contd.)



Figure 6: Room G2 with original panelling to walls and some stud work over. Also labelled and stored materials from removed panels to a rack



Figure 7: Photo from Room G4 across stairwell to main entrance door showing the installed steel frame



Figure 8: Room F2 showing the original panelling and modern floor joists with original timbers between



Figure 9: Room F1 showing load bearing stud work in front of a

2.1 Setting & Significance (contd.)



Figure 10: Room G3, entrance hall looking towards the redundant doorways once connecting to No. 31 and the stair to the right



Figure 11: Room S5 to Second Floor Rear Extension looking towards the party wall to no. 32 and the various blocked up doorways



Figure 12: Standing on Second floor landing looking down to the half landing where there may have been a window



Figure 13: Room S5 to Second Floor Rear Extension looking towards the stairwell with blocked up doorway to the left

2.1 Heritage Significance

The following assessment of heritage significance has been based on the following criteria;

High: Building elements that contribute significantly to the heritage asset and its setting

Medium: Building elements that contribute moderately to the heritage asset and its setting

Low: Building elements with limited value but with potential to contribute to the heritage asset, including those compromised by poor preservation

Negligible: Building elements with little or no significant historical interest

External Significance

The front façade of no. 32 being to a prominent corner of the Richmond Green Conservation Area and with original windows and brickwork to the ground and first floor is considered to be of high significance. However, the façade needs some attention with the upper part of the walls becoming unstable.

The hipped roof is considered to be of high significance. However, its structural stability of serious concern and needs urgent attention.

The rear façade of the main building is considered to be of medium significance having been painted but retaining an original window to the first floor. The rear façade cannot be seen from the wider heritage setting. However, this also has issues of structural stability and needs urgent attention.

Internal Significance

The interior is generally in poor condition having been abandoned mid construction. The most significant areas to the property are considered to be ground and first floor as these floors retain some of their original panelling to the external and party walls. This does not include the rooms to the rear extension.

To the ground floor the remaining panelled walls to Rooms G1 & G2 in particular are considered to be of high significance as they retain their fire surrounds and original detailing. Room G3, the entrance hall, is considered to be of a medium/high significance as the party wall has been re-panelled at some point with the overboarding of the fireplace and the introduction of the now redundant connection to no. 31. Room G4 is considered to be of medium significance as the main rooms walls have previously been modified and overboarded.

To the first floor Rooms F1, F2 & F3 are considered to be the more important rooms with a medium/high heritage significance although the fireplace has been previously overboarded to Rooms F1 & F2 and the panelling to the whole of the party wall to Room F1 appears to be 20th century.

All the rooms to the rear extension are considered to be of low/ negligible significance, having being modified extensively over the years and having no evidence of previous heritage features.

The stairwell is considered to be of high significance as the handrail, spindles and arrangement contributes to the setting of the property.

The Second Floor is considered to be of medium significance due to the hipped roof form. However there are few discernible internal heritage features.

The basement is considered to be of low heritage significance. Having no discernible internal heritage features, even prior to 2008.

2.2 Planning History

There have been numerous planning applications to the property which are listed as follows;

Planning Reference : 66/2242 (Change of Use)

Description: Change of use of two rooms on the ground floor from residential to office use.

Decision : Granted, February 1967

Planning Reference : 70/2233 (Full Application)

Description: Continuation of use of two ground floor rooms as offices.

Decision : Granted, December 1970

Planning Reference : 72/0420 (Change of Use)

Description: Change of use of basement and part of ground floor from residential to office use.

Decision : Refused but Allowed at Appeal, August 1973

Planning Reference : 91/0073/FUL (Full Application)

Description: Use As Class B1 (office Use Only) Use Without Compliance With Conditions Attached To Consents 70/2233 And 72/420 (limitations Of Use By Applicants)

Decision : Granted, March 1991

Planning Reference : 92/1030/LBC (Listed Building Consent)

Description: Block In 3 Communicating Door Openings. Conversion Of Two Rear Cloakrooms To Shower Room And W.c/tea Station.

Decision : Decided as No Further Action be Taken, September 1992

Planning Reference : 92/1570/LBC (Listed Building Consent)

Description: Block In 3 Communicating Door Openings. Formation Of Door At Basement Stair. Dry Line Over Severely Damaged Panelling In Room G4 & Application Of Fabric To Walls Above Dado In Room G2. Apply Intumescent Paint To Panelling. Open Up Blocked U

Decision : Granted, January 1993

Planning Reference : 02/0879 (Full Application)

Description: Change Of Use From B1 (office) To Class D1 (specialist Eye Surgery) And Associated External Works, Including Installation Of An Air Conditioning Unit.

Decision : Refused, June 2002

Planning Reference : 02/1095 (Listed Building Consent)

Description: Change Of Use From B1 (office) To Class D1 (specialist Eye Surgery) And Associated External Works, Including Installation Of An Air Conditioning Unit.

Decision : Refused, June 2002

Planning Reference : 02/2290 (Full Application)

Description: Change Of Use From B1 Class To D1 Class And Installation Of Air Conditioning Unit And Associated Ductwork And Air Condensing Unit In Rear Court Yard.

Decision : Refused, April 2003

Planning Reference : 02/2293 (Listed Building Consent)

Description: Internal And External Alterations Associated With Change Of Use To Class D1. Alterations Include Installation Of Concrete Floor And Four Steel Columns In Basement, Two Grilles In Lower Panelling Of Two Ground Floor Rooms, Air Handling Plant.

Decision : Refused, April 2003

Planning Reference : 03/1274/COU (Change of Use)

Description: Change Of Use To Single Family Dwelling House. works onsite have ceased - follow up with conservation officer Nicollete required and an email update from the agent required as to establish the progress of the works onsite.

Decision : Granted, May 2003

Planning Reference : 08/1236/FUL (Full Application)

Description: Change of use to single family dwelling house.

Decision : Decided as No Further Action be Taken, October 2008

Planning Reference : 08/3765/FUL (Full Application)

Description: Change of use from office to residential, lowering of basement and new roof lantern.

Decision : Withdrawn by the Applicant, January 2009

2.2 Planning History (contd.)

Planning Reference : 08/3766/LBC (Listed Building Application)

Description: Change of use from office to residential single family dwelling. Internal remodelling, fitting on new kitchen and bathrooms and lowering part basement floor by 300mm and new roof lantern.

Decision : Withdrawn by the Applicant, January 2009

Planning Reference : 09/0292/FUL (Full Application)

Description: Change of use from offices to residential. Minor internal remodelling, fitting out of new kitchen and bathrooms.

Decision : Granted, May 2009

Planning Reference : 09/0306/LBC (Listed Building Application)

Description: Change of use from offices to residential. Minor internal remodelling, fitting out of new kitchen and bathrooms.

Decision : Granted, May 2009

Planning Reference : 11/1839/HOT (Householder Application)

Description: Repairs and maintenance of existing structure, removal of basement waterproof tanking membrane, treatment of rising damp, repair structural members and repair/replacement of rotten windows (like-for-like).

Decision : Granted, October 2011

Planning Reference : 11/1840/LBC (Listed Building Application)

Description: Repairs and maintenance of existing structure, removal of basement waterproof tanking membrane, treatment of rising damp, repair structural members and repair/replacement of rotten windows (like-for-like).

Decision : Granted, October 2011

Planning Reference : 12/2451/LBC (Listed Building Application)

Description: Install discrete steel members to provide additional support to original timber beams. The existing beams will not be removed. This is necessary to tie the existing back wall to the building, which has been pulling away from the house over the past few years. Conservation of wall panels. The wall panels have been overlaid using nails, glue and screws with ply board, ply and plaster board, and asbestos. These panels may need a backing 'frame' of thin ply, to be remounted based on photographs of original positions.

Decision : Granted, September 2012

Planning Reference : 12/2450/HOT (Householder Application)

Description: Install discrete steel members to provide additional support to original timber beams. The existing beams will not be removed. This is necessary to tie the existing back wall to the building, which has been pulling away from the house over the past few years. Conservation of wall panels. The wall panels have been overlaid using nails, glue and screws with ply board, ply and plaster board, and asbestos. These panels may need a backing 'frame' of thin ply, to be remounted based on photographs of original positions.

Decision : Decided as No Further Action be Taken - Internal, August 2012

Planning Reference : 12/2451/DD01 (Reserved Matters DD Submission 1)

Description: Details pursuant to condition U54183 (Miscellaneous details) of listed building consent 12/2451/LBC.

Decision : Granted, February 2015

Planning Reference : 14/4853/LBC (Listed Building Application)

Description: Add steel frames to two chimney breasts on the ground floor and repair the associated brickwork.

Decision : Granted, March 2015

Planning Reference : 13/3501/VRC (Removal or variation of a condition)

Description: The attached method statement details the method for reinstatement and preservation of wall panels

Decision : Written Off Never Validated, June 2017

Planning Reference : 14/4789/LBC (Listed Building Application)

Description: Install matching internal window shutters in two window bays.

Decision : Written Off Never Validated, January 2018

Planning Reference : 14/4930/VRC (Removal or variation of a condition)

Description: Details pursuant to condition U44248 (details to scale) of listed building consent 11/1840/ LBC.

Decision : Written Off Never Validated, August 2018

Planning Reference : 11/1840/DD01 (Reserved Matters DD Submission 1)

Description: Details pursuant to condition U44250 - Material Details.

Decision : Granted, May 2018

2.2 Planning History (contd.)

Planning Reference : 09/0306/DD01 (Reserved Matters DD Submission 1)

Description: Details pursuant to conditions U25787 (detailed drawings) and U25788 (freestanding units) of planning permission 09/0306/LBC.

Decision : Granted, May 2018

Planning Reference : 09/0292/DD01 (Reserved Matters DD Submission 1)

Description: Details pursuant to conditions U25786 (detailed drawings) and U25781 (freestanding units) of planning permission 09/0292/FUL.

Decision : Granted, May 2018

Planning Reference : 11/1840/DD02 (Reserved Matters DD Submission 2)

Description: Details pursuant to condition U44254 (Joist replacement/repair) of listed building consent 11/1840/LBC.

Decision : Granted, June 2018

Planning Reference : 22/0547/LBC (Listed Building Consent)

Description: Overhaul existing pitched roof covering, replace existing lead valley gutter, internal rainwater pipe, and vary basement waterproofing system.

Decision : Refused, April 2022

Planning Reference : 22/0746/FUL (Full Planning)

Description: Overhaul existing pitched roof covering, replace existing lead valley gutter, internal rainwater pipe, and vary basement waterproofing system.

Decision : Refused, April 2022

Planning Reference : 22/2779/LBC (Listed Building Consent)

Description: Works to the central gutter, raising and widening valley gutter, alterations to 'M' shape roof.

Decision : Granted, November 2022

Planning Reference : 22/2778/HOT (Householder Application)

Description: Works to the central gutter, raising and widening valley gutter, alterations to 'M' shape roof.

Decision : Granted, November 2022

Planning Reference : 22/3087/LBC (Listed Building Consent)

Description: Raising the existing basement floor level, installation of a new timber staircase and installation of a cavity drainage system to the existing basement floor and walls.

Decision : In progress

Planning Reference : 23/1873/HOT (Householder Application)

Description: Remedial structural works to stabilise an existing roof purlin.

Decision : Withdrawn by the applicant, August 2023

Planning Reference : 22/3086/HOT (Householder Application)

Description: Raising the existing basement floor level, installation of a new timber staircase and installation of a cavity drainage system to the existing basement floor and walls.

Decision : Withdrawn by the applicant, January 2024

Planning Reference : 23/1874/LBC (Listed Building Consent)

Description: Remedial structural works to stabilise an existing roof purlin.

Decision : Withdrawn by the applicant, February 2024

Planning Reference : 22/2779/DD01 (Reserved Matters DD Submission 1)

Description: Details pursuant to condition U0143992 - Schedule of Works and Method Statement, of listed building consent 22/2779/LBC.

Decision : Granted, July 2024

Planning Reference : 24/1993/LBC

Description: External works including replacement of cement pointing & cement render, replacement/refurbishment of windows, replacement of existing metal rainwater pipes, inclusion of vent outlets to the rear, replacement of rear door, redecoration to external facade. Taking down of three chimney stacks.

Decision : Granted, August 2024

Planning Reference : 24/1992/HOT

Description: External works including replacement of cement pointing & cement render, replacement/refurbishment of windows, replacement of existing metal rainwater pipes, inclusion of vent outlets to the rear, replacement of rear door, redecoration to external facade. Taking down of three chimney stacks.

Decision : Granted, August 2024

3.1 Design Statement : Layout

As stated in the introduction this application has taken a holistic design approach. Section 3.2 outlines the strategies for delivering the reinstatement of the dwelling covering the issues including structures, fire safety, energy efficiency, ventilation, services and drainage. This section will focus solely on layout.

Much of the layout of the property has already been consented to in previous applications with detailed drawings of the bathrooms and kitchen by Goater Jones Architects discharged as part of Planning Condition 09/0292/DD01 in 2018. A selection of these approved drawings are shown on page 17, figures 18-21.

However, the post-pandemic work environment has created the need for another dedicated study to the property. There is also a wish to create a more viable family dwelling. The proposals have considered the preservation of the historic planform and reinstatement of features.

Below I have discussed the proposed arrangement of the dwelling on a floor-by-floor basis.

Basement (fig 14)

The previous proposals have dedicated the whole of the basement area for storage. However the dwelling does not require this much storage space. To improve the long term viability of the property it is proposed to bring the rooms back into an active use.

It is proposed;

- An additional study for the property be located to the corner room of the basement, Room B2.
- There is a dedicated utility room area sufficiently large for an ironing board to be erected. The location of this has been determined by where it is easiest to provide services including ventilation extract.
- There is a new WC to Room B4, as the nearest WC would be 2 floors above.
- Rooms B5, B6 & B7 are dedicated to plant room space
- There is a new stair to the basement.
- There are new hearths proposed to chimney breast of Rooms B1 & B2, openings that were previously overboarded, to help add historic legibility to the spaces.

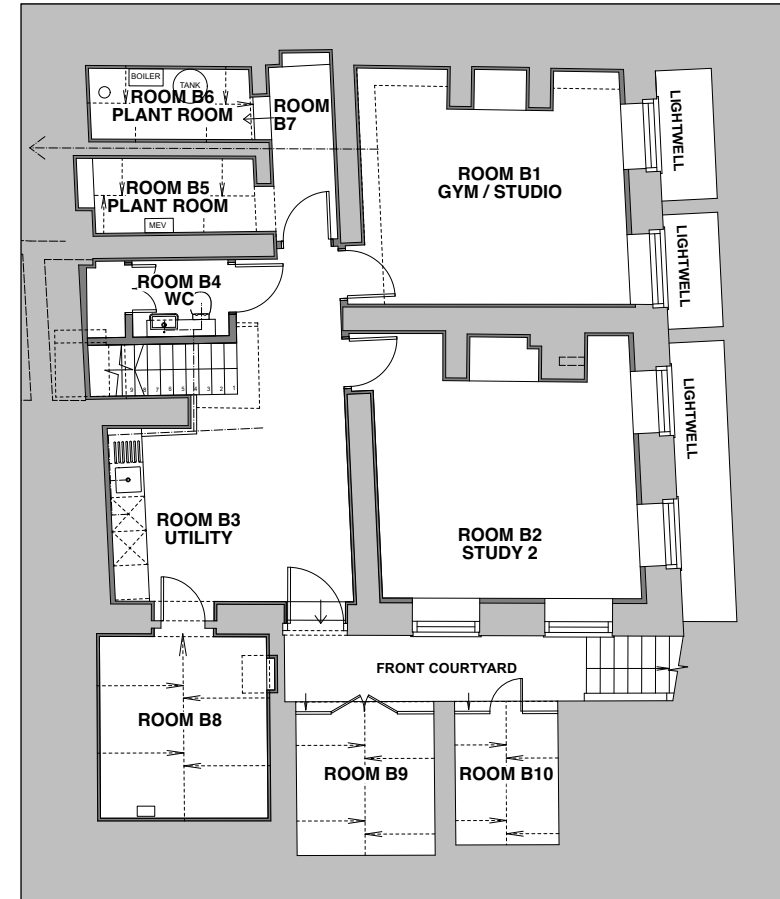


Figure 14: Proposed Basement Floor Layout

3.1 Design Statement : Layout (contd.)

Ground Floor (fig 15)

The ground floor remains the primary space for the kitchen, dining & living space during the day.

It is proposed;

- The modern stud walls would be removed to all walls to allow the historic panelling to be visible.
- The kitchen would remain to Room G1 with an overflow pantry to Room G5. The new kitchen arrangement would have less freestanding wall units than previously proposed (fig 18) but with a larger island unit with induction cooker. This forms a better layout for the kitchen and a better relationship to people entering the room from the stairwell. It also allows for more historic panelling to remain visible in the room.
- There would be interconnecting doors to Room G4 in the style as shown on Goater Jones approved kitchen drawings (figs 18 & 19) which improved the the flow between the kitchen and dining room.
- The redundant doorway to the entrance hall (Room G3) which once connected through to no. 31 is proposed to be removed entirely to allow for the reinstatement of the panelling.
- There are a new fire surrounds introduced to both the entrance hall (Room G3) and the dining Room (Room G4), openings that were previously overboarded, to add historic legibility to the spaces.
- There is a set of double doors inserted into the reinstated walls between the Entrance Hall (Room G3) and the Front Reception Room (Room G2). This would allow for a better flow between the spaces and improve the viability of the dwelling. The original door opening position would be retained to preserve the planform of the original property.

First Floor (fig 16)

The first floor would remain the principal floor for the evening.

It is proposed;

- The main bedroom (Room F1) is connected by a single door to the ensuite (Room F4). As the previously approved Goater Jones layout for the ensuite the door would remain in place for historic legibility and there would be a service wall to the front (fig 20).

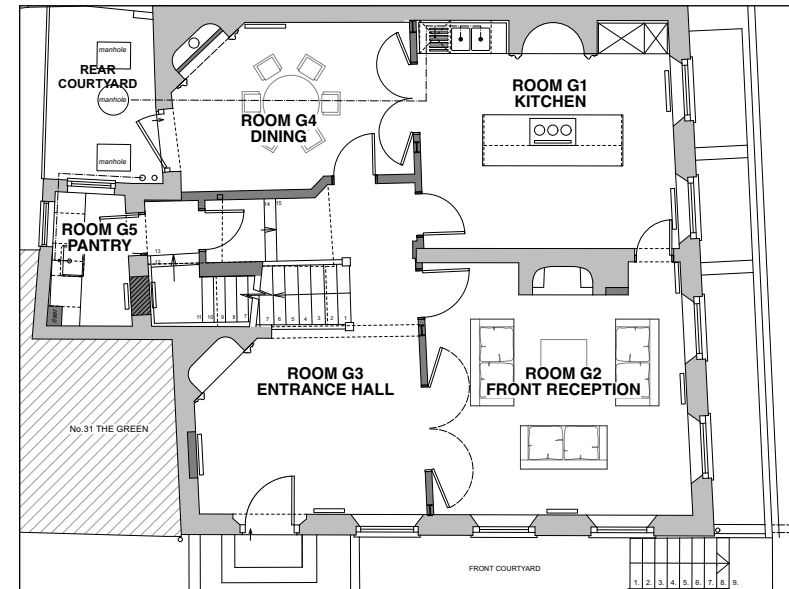


Figure 15: Proposed Ground Floor Layout

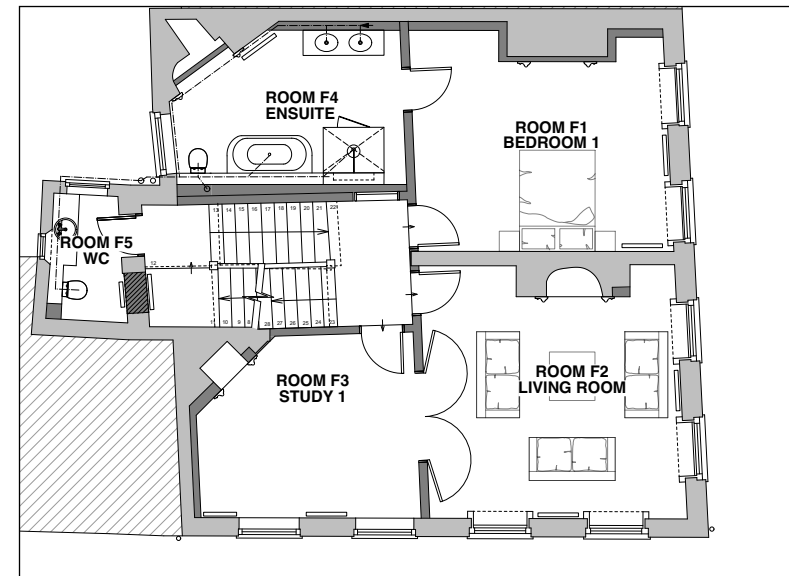


Figure 16: Proposed First Floor Layout

3.1 Design Statement : Layout (contd.)

- The load bearing stud work to the party wall would remain in place, as they are load-bearing, but all other stud work in front of historic panelling is to be removed. The panels to the party wall in Bedroom 1 are 20th century and the panelled style would be replicated in front of the stud work.
- New fire surrounds are introduced to Rooms F1, F2, F3 & F4, openings that were previously overboarded, to add historic legibility to the spaces.
- A set of double doors inserted into the new wall between the Study 1 (Room F3) and the Living Room (Room F2). This would allow for a better flow between the spaces. The original door opening position would be retained to preserve the planform of the original property.
- The door to the WC (Room F5) is positioned to a previously redundant opening. This will ensure the doors to all the floors in this locality line up and therefore improve the stability for the rear wall while removing the step and potential trip hazard when entering the room.

Second floor (fig17)

The second floor would be the additional sleeping accommodation.

It is proposed;

- There are two dedicated bedrooms to Rooms S1 & S2
- There is open landing for shared use to Room S3 where the room size and rafter arrangement makes it challenging to position a bed.
- There is a proposed dwarf wall forming the stair guarding with structural post to help preserve the planform of the upper floor. The heritage guarding, which is currently being stored on the ground floor would be reinstated.
- The bathroom to Room S4 would be arranged in an alternative way to the approved Goater Jones drawing (fig 21). Firstly to omit the shower and secondly to ensure drainage runs are suitable to avoid blockages (fig 21). The service wall to the party wall would be retained.
- There are steel supports to the roof hips in Rooms S2 & S3 to improve the structural stability of the roof.

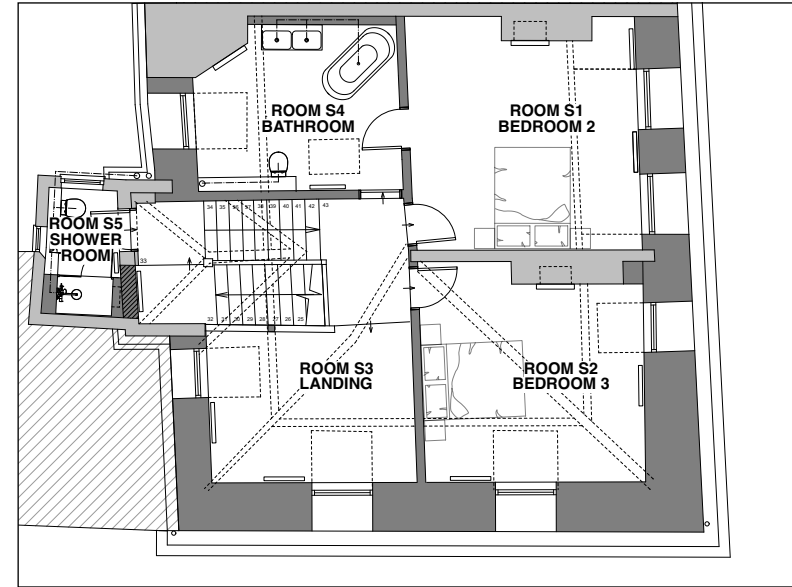


Figure 17: Proposed Second Floor Layout

- There is a long steel support for the purlin to Room S1.
- The ceiling joists are levelled to ensure the ceiling can be reinstated.
- There are new modest fire surrounds introduced to Rooms S1, S2 & S4, openings that were previously overboarded, to add historic legibility to the spaces.
- The door to the Shower Room (Room S5) is positioned to a previous redundant opening. This will ensuring stability for the rear wall as well as a better arrangement into the room, with the shower away from the window.

3.1 Design Statement : Layout (contd.)

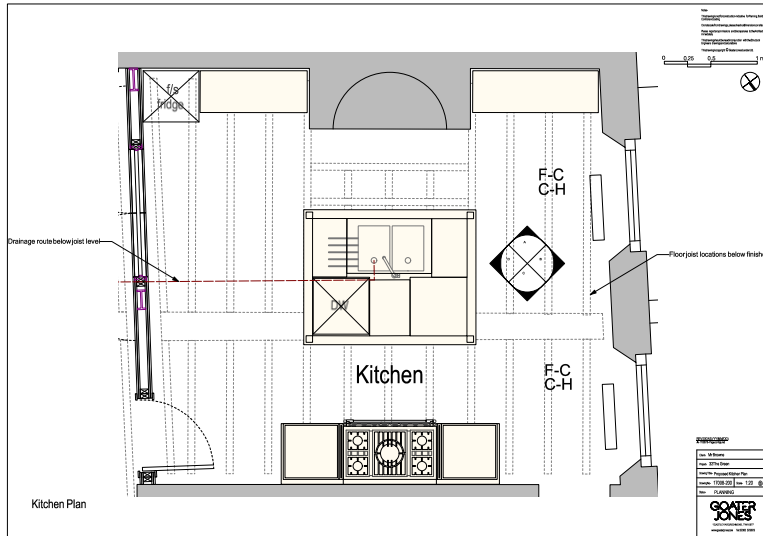


Figure 18: Approved Drawing of floor plan to kitchen in Room G1 from application to 09/0292/DD01 (2018) by Goater Jones Architects

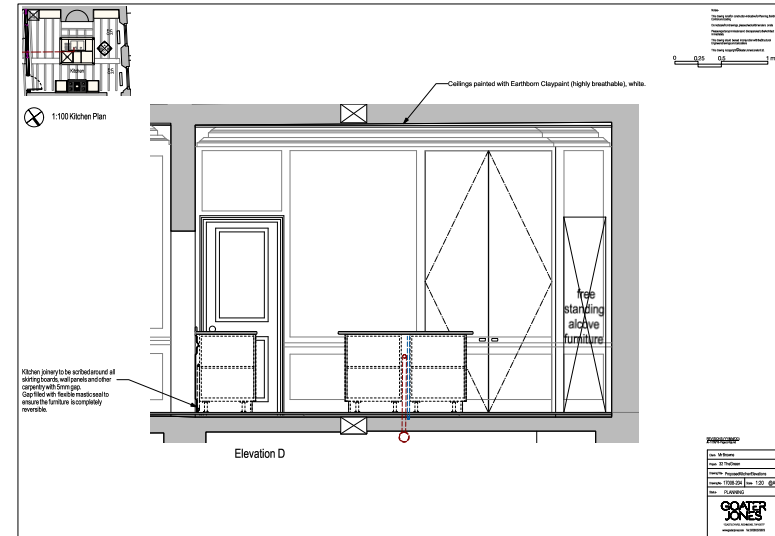


Figure 19: Approved Drawing of elevation of wall to Room G1 towards Room G4 from application to 09/0292/DD01 (2018) by Goater Jones Architects showing interconnecting doors between the rooms

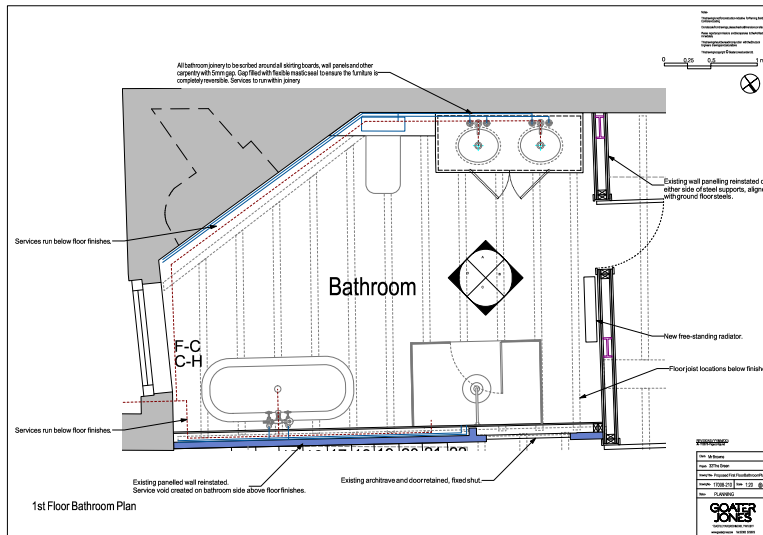


Figure 20: Approved Drawing of floor plan to 1st floor bathroom in Room F4 from application to 09/0292/DD01 (2018) by Goater Jones Architects showing service wall to stairwell

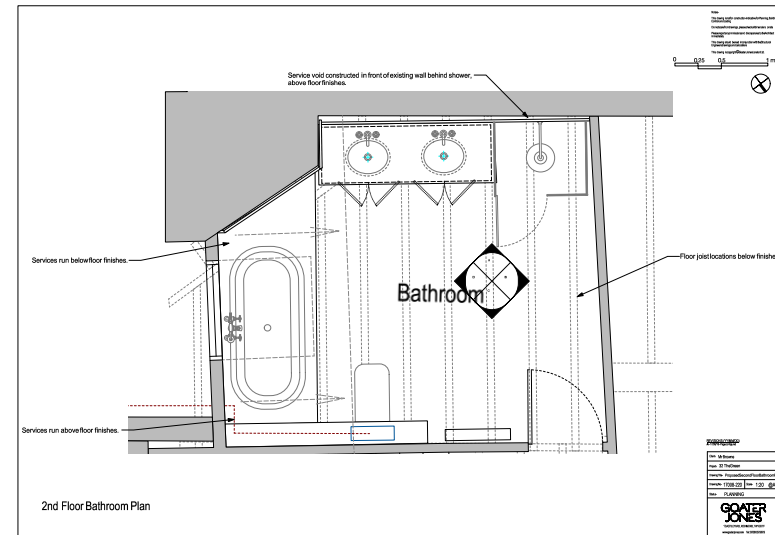


Figure 21: Approved Drawing of floor plan to 2nd floor bathroom in Room S4 from application to 09/0292/DD01 (2018) by Goater Jones Architects showing service wall to party wall

3.2 Design Statement : Services

There is a full schedule of works with heritage impact assessment to Section 4.

As stated in the introduction this application has taken a holistic design approach. When we began looking at the reconstruction of the property we considered the issues in terms of strategies including structures, fire safety, energy efficient, ventilation, services and drainage. We also considered the proposed layout which has been already been discussed in section 3.1.

Structural Strategy

The building is at a critical structural state. At some point prior to 2012 the building was starting to develop a significant lean to it. The steel frame inserted into the building post 2012 (planning reference 12/2451/LBC) has halted some of the decline. However, the Conservation Engineer believes the building is still moving, with the roof hips to the east continuing to spread and the upper sections of the outer walls moving out. This has resulted in the bowing of the external brick lintels to the first floor. The consented application 24/1993/LBC previously identified the chimney stack required rebuilding due to structure instability of the bricks. The engineers also believe the rear extension and back wall is starting to detach itself from the building. The documents and drawings by MNP Engineers submitted as part of this application, outline the works required. This will include new pattress plates to the elevation. Throughout the design process the team has worked to ensure the proposals are as minimal and discreet as possible. To the ground and first floor the Conservation Engineer has asked that the timber panelling is carefully removed from the walls so the internal face of the walls can be inspected and the cracks repaired prior to reinstatement.

Fire Strategy - to be read along dwg 240 & Fire Statement

The property is a family dwelling. It is important that with the introduction of the Building Safety Act and changes to Building Regulations Part B that the fire safety is considered from the outset to ensure that inhabitants are safe and also for the protection of the historic fabric.

The building is arranged around a single stair with the main means of escape from the ground floor entrance hall. The basement floor will

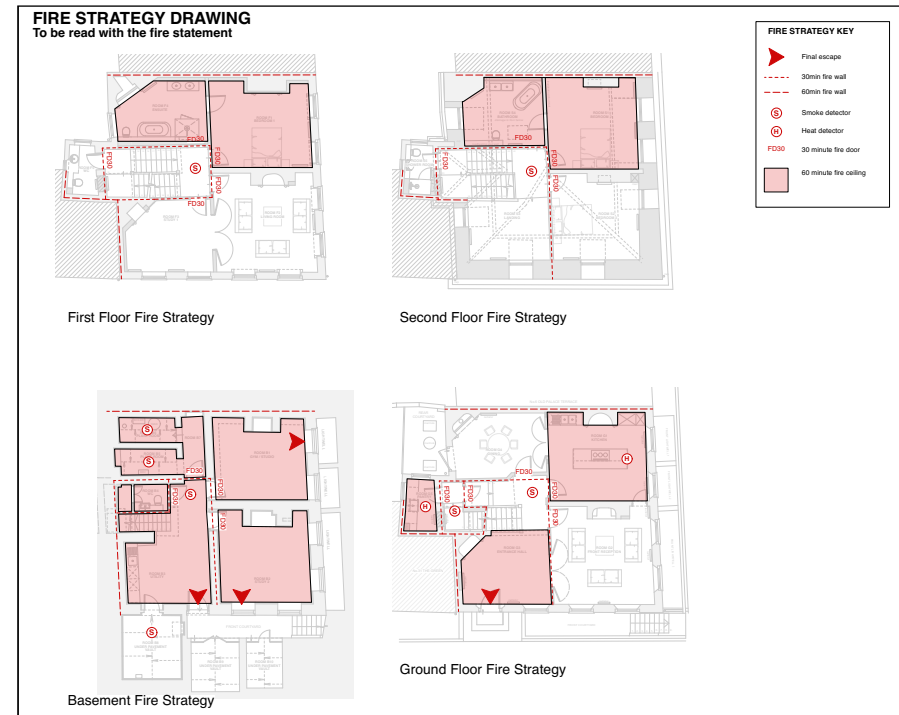


Figure 22: drawing 240 showing the extent of fire rated ceilings required

therefore needs to be separated from the ground floor by fire resistant construction (fig 22). Fire rated ceilings are also required above the entrance hall and should be considered above the kitchen and pantry where fire risk from appliances is potentially higher. Finally, to the party wall to no. 2 Old Palace Terrace as the joists are built into the wall at the first floor and there is no wall extending beyond the roofline to the second floor there will need to be fire ceilings to the rooms in these locations. We therefore propose that the ceilings are 15mm fire board throughout.

It is also proposed that all the doors are modern 2-panel timber fire doors as shown on the internal elevation drawings. The photographs in Appendix A from when the property was an office show that the previous doors were all modern fire doors. Also that several of the ceilings were plasterboard.

3.2 Design Statement : Services (contd.)

Energy Efficiency - to be read along dwg 243

Historic England in July 2024 issued Advice Note 18 : Adapting Historic Buildings for Energy and Carbon Efficient and from a conservation perspective we feel it important to improve the energy efficiency of the property where it can be done sensitively. We have considered the options available to improve the property on a fabric first and air tightness basis.

The external works application (planning reference 24/1993/LBC) approved in August outlined a number of improvements including upgrading the modern windows to the basement and the second floor as well as draught proofing the existing windows. Internally as part of this application there are a number of opportunities.

To the basement the new proposed cavity drainage membrane gives an opportunity to apply insulated plasterboard to the inner face of the walls. Also to insulate the floor.

To the ground and first floor the temporary removal of the historic panelling for the structural inspection will allow for the introduction of a spray applied insulating breathable lime plaster, Fixit 222, prior to the panels being reinstated. This would upgrade the U-Value of the walls to 0.48W/m²K in discreet way while increasing the air tightness of the historic external envelope.

The second floor is an inhabited roof so it is therefore possible to insulate the dwarf walls between the existing vertical studs before the wall finish is reinstated.

To the pitched roof the insulation needs to be located between and under existing rafters to preserve the roof appearance. The rafters are approximately 100mm deep therefore insulation should be no deeper than 50mm to maintain sufficient ventilation under the breather membrane. To avoid interstitial condensation the insulation under the rafters should be no deeper than that between the rafters, therefore 50mm. The insulation will not achieve the same U-Value as the building regulations requirements for a new dwelling however, it would be a significant improvement on the previous performance.

The roof lining should also incorporate a vapour control layer to minimise moisture entering and condensing in the historic roof structure. We have proposed this is positioned in a way to minimise penetrations by services.

Ventilation - to be read along dwg 241

In considering the protection of the historic fabric one should always consider moisture management when introducing air tightness measures.

The property already had previous consent for the kitchen to Room G1 and new bathrooms to Rooms F4 & S4. There will be a WC, pantry and a shower room to the rear extension. It is also proposed that there is a new WC and a utility room located to the basement level. Therefore ventilation from each floor needs to be considered.

To ensure there is a fresh flow of air throughout the property, and achieve compliance with Building Regulations Part F it is proposed there is continuous extract ventilation, using MEV units, that will draw fresh air slowly from around existing windows. This will trigger a boost mode should high moisture levels be detected.

To the basement it is proposed there is an MEV unit to the plant room in Room B5 servicing all the windowless rooms to that floor. This would require a ceiling void above Rooms B3 & B7. This would exit to an existing air brick to the rear wall and courtyard.

To the rear extension it is proposed there is an MEV unit located in Room F5 on the first floor, which has high ceilings. This would then provide extract from this room as well as Rooms G5 & S5, below and above. This would exit to a vent outlet to the rear wall. This outlet has already been approved as part of the external works application (planning reference 24/1993/LBC).

To the first and second floor it is proposed there is an MEV unit to the loft space above Room S4. This would provide extract from the bathrooms to Room S4 and F4. This would run in the service wall to Room S4 adjacent to the party wall. This would exit to a vent outlet in the roof valley. This outlet has already been approved as part of the external works application (planning reference 24/1993/LBC).

Finally, to the ground floor kitchen in Room G1 it is proposed there is a cooker extract fan that will exit to the rear courtyard. This would be a flat duct which would sit within the void created by the existing firings which level the first floor. These firings sit above the historic joists but below the existing ply deck floor.

3.2 Design Statement : Services (contd.)

Services Strategy - to be read along dwg 243 & fig 23

When the property as built all the rooms were warmed by open fires and there was no electricity. Following on from this there have been various services strategies to the building. In this application for reinstating the dwelling the incorporation of modern service runs has been carefully considered to minimise the impact on the historic features.

The existing electricity meter is located in Room B8, the under pavement vault. The existing gas meter is located in Room B7. Both these meters will remain in place. There was a gas boiler previously to Room B6 with the flue running up the chimney and still visible in Room G4. A number of alternative options were considered and as a result the client has opted to reinstate the gas boiler to its previous location with the flue running to the same location.

There will be a wet heating system throughout with three dedicated risers across the property. Consideration was given to providing underfloor heating throughout. However, the Conservation Engineer considered it would be potentially detrimental to the historic floor timbers. Also there would be no location to discreetly locate pipe manifolds to most floor. It is therefore proposed there is underfloor heating only to the basement floor. All other floors will be served by radiators located to the perimeter in positions to ensure full length curtains can be fitted.

To avoid notching joists and damaging the historic fabric it is proposed there are some ceiling voids to the basement floor. The level of these ceilings have been kept to a minimum and have dictated the proposed finished floor level, which we acknowledge is lower than it originally was.

Drainage - to be read along dwgs 220-223

The main foul water drains to the property are located in the rear courtyard.

There is a soil stack to the rear courtyard serving the three floors of the rear extension and this will remain in place to serve Rooms G5, F5 & S5.

A drainage connection has already been introduced at high level above Rooms B1, B5 & B6. This is to serve the ground floor kitchen in Room G1. The position of the drain influences the proposed arrangement of the sink and dishwasher to the kitchen.

To minimise the number of penetrations to the rear historic wall it is proposed that the drainage to the second floor bathroom, Room S4, runs to the bathroom to the floor below, in Room S3, before exiting the building. All drainage runs will be hidden from view.

To the basement floor a sump pump will be required for the cavity drainage membrane. It is also proposed with is a dual system with an adjacent foul drainage sump to pump water to the manhole to the rear garden. The position of the sump has been agreed with the Conservation Engineer.

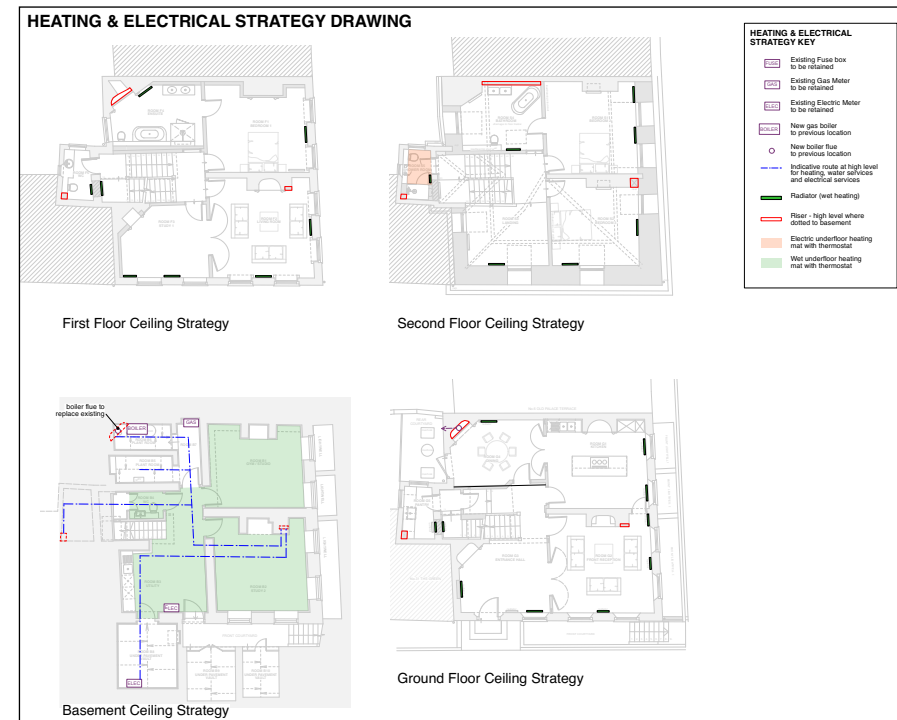


Figure 23: drawing 243 showing the extent of services and service ceilings in green to the basement

3.3 Access Statement

The main entrance to the property is from the North-East facing The Green via a small set of steps (fig 24).

There is an alternative entrance to the property via the east facing basement courtyard, a gate and a flight of steps (fig 25 & 26).

There is also a modern rear door to the south which leads to a small enclosed courtyard. There is no exit from this courtyard.

There is no intention to alter the access arrangements for the property.



Figure 24: Main entrance to no. 32



Figure 25: Flight of steps to the front lightwell to basement



Figure 26: Secondary entrance to the property

4.1 Schedule of Works with Impact Appraisal - Introduction

The schedule of proposed works, an assessment of the heritage significance of the existing element and an impact assessment on the significance has been combined in the next section into a table format.

The adjacent table outlines how the two sections have been classified.

The proposed works should be read in conjunction with planning drawings and details by Shu Architects & Photographic Audit which accompany this application.

Heritage Significance	
High	Building elements that contribute significantly to the heritage asset and its setting
Medium	Building elements that contribute moderately to the heritage asset and its setting
Low	Building elements with limited value but with potential to contribute to the heritage asset, including those compromised by poor preservation
Negligible	Building elements with little or no significant historical interest
Impact on Significance	
Positive	Changes that cause a positive impact and enhancement to the heritage asset and its setting
Neutral	Changes that cause a neutral or negligible impact to the heritage asset and its setting
Negative	Changes that cause a negative impact on the heritage asset and its setting

4.2 Schedule of Works with Impact Appraisal

	Proposed Works	Significance	Impact Appraisal
1.00	Whole Property		
1.01	Introduction of new painted timber internal fire rated doors.	The 2008 photos in Appendix A show that all the internal doors were modern. Although the 2 panel arrangement would have been appropriate to the age of the property. Heritage Significance : Negligible	The introduction of fire doors will provide protection to the historic property. Impact on Significance: Positive
1.02	The introduction of a ventilation system for all kitchen, utility and bathroom areas as strategy drawing 241.	There is no ventilation system to the property at present. Heritage Significance : N/a	The introduction of a ventilation system will provide protection from high moisture levels to the historic fabric. Impact on Significance: Positive
1.03	The introduction of a heating system to all rooms including 3 no. risers as strategy drawing 243.	There are no dedicated risers to the property at present. Heritage Significance : N/a	The introduction of service risers removes the need for notched joists and improves the viability of the property. Impact on Significance: Positive
1.04	The introduction of fire rated ceilings throughout.	The 2008 photos in Appendix A show that some ceiling were already boarded, some papered. There were no visible ceiling features. Heritage Significance : Low	The introduction of fire safety measures will protect the historic fabric in the long term. Impact on Significance: Positive
2.00	Basement Floor		
2.01	The introduction of a cavity drainage system including below ground sumps.	The basement previously had a cavity drainage membrane. The 2008 photos in Appendix A show that there were no obvious historic features to the walls. Heritage Significance : N/a	The introduction of cavity drainage membrane allows the basement to be brought back into use thereby improving the long term viability of the property. Impact on Significance: Positive
2.02	The introduction of an insulated floor and wall system.	The existing floor is concrete. A breach of planning lowered the by 380mm. The previous floor condition prior to 2008 is unknown. Heritage Significance : Negligible	The level of the floor allows for the discreet distribution of services to serve other more high status floors. The insulation will improve the thermal comfort and viability of the dwelling. Impact on Significance: Positive
2.03	The introduction of a new hearths to Rooms B1 & B2.	The 2008 photos in Appendix A show that the previous fireplaces had been boarded over. Heritage Significance : Low	The introduction of the hearths will reinstate some of the historic legibility to the plan form. Impact on Significance: Positive

4.2 Schedule of Works with Impact Appraisal (contd.)

	Proposed Works	Significance	Impact Appraisal
2.00	Basement Floor (contd.)		
2.03	The introduction of a new stair to the basement with adjacent wall.	The existing stair is modern. The original arrangement of the basement stair is unknown. However it is thought to have been rearranged when the rear extension was built. Heritage Significance : N/a	The reinstatement of the wall will reinstate some of the historic planform of the building. Impact on Significance: Positive
2.04	The introduction of a WC & utility room.	There is no sanitary provision to the floor currently. The basement would have historically been a kitchen but no features remain. Heritage Significance : Low	The introduction of the utility and WC will bring the basement into use and improve the long term viability of the property. Impact on Significance: Positive
3.00	Ground Floor		
3.01	The removal of the timber frame stud work to the walls.	The stud work has been placed in front of the historic timber panelling and obscures the historic features. Heritage Significance : High	The removal of the timber stud work will allow the historic features to be visible. Impact on Significance: Positive
3.02	The removal of the historic wall panel to external walls with inspection and structural repairs. Reinstatement of original panels on a base of of insulated lime plaster.	The panels are of historic significance but the external walls have become structurally unstable threatening the integrity of the whole building. Heritage Significance : High	The structural repairs to the external wall will preserve the heritage asset. The insulated lime plaster will not be visible but will improved the thermal comfort of the dwelling. The historic panels will be reinstated Impact on Significance: Positive
3.03	The reinstatement and repair of the internal wall panels to the primary rooms including to the stairwell.	The panels are of historic significance but have been removed, labelled and store on site to insert the steel frame. Heritage Significance : High	The historic panels will be reinstated with new panels in a style to match. This is preserve the setting of the listed building. Impact on Significance: Positive
3.04	The removal of the redundant door to no. 31 in Room G2.	It is presume the door was introduced when the property was an office in 20th century. Heritage Significance : Negligible	The removal of the door will reinstate some of the historic legibility to the plan form. Impact on Significance: Positive

4.2 Schedule of Works with Impact Appraisal (contd.)

	Proposed Works	Significance	Impact Appraisal
	Ground Floor (contd.)		
3.05	The introduction of interconnecting doors between rooms G1 & G4.	The wall to this location has been removed but was know to have been panelled. There has been previous consent for insertion of connecting doors to this location. Heritage Significance : High	The connecting doors have previously been considered acceptable and will improve the viability of the dwelling by connecting the kitchen to the dining room. Impact on Significance: Positive
3.06	The introduction of interconnecting doors between rooms G2 & G3.	The wall to this location has been removed but was known to have been panelled. Heritage Significance : High	The connecting doors will improve the circulation to the entrance hall. The original door position will be retained ensuring the original planform is retained. Impact on Significance: Neutral
3.07	The widening of the doorways to the rear extension and the blocking up of the door currently to the head of the basement stair.	The rear extension is possibly mid 19th century and was used as a service area and has had the door positions altered before. Heritage Significance : Negligible	The blocking of the door will allow for the room to be used as a pantry minimising the number of kitchen fittings to the more historically significant Room G1. Impact on Significance: Positive
3.08	The introduction of fire surrounds to Rooms G3 & G4.	The rooms have chimney breasts but the fireplaces appear to have been overboarded when used as an office. Heritage Significance : Medium	The introduction of the fire surrounds will enhance the historic planform and legibility of the property. Impact on Significance: Positive
4.00	First Floor		
4.01	The removal of the timber frame stud work to the walls except to the party wall to no. 2.	The stud work has been placed in front of the historic timber panelling and obscures the historic features Heritage Significance : High	The removal of the timber stud work will allow the historic features to be visible. Impact on Significance: Positive
4.02	The retention of the load bearing stud wall to the party wall to Rooms F1 & F4 and the reinstatement of the panels to the front.	The panelling to Room F1 appears to be 20th century with the fireplaces to F1 & F4 having been overboarded. Heritage Significance : Medium	The retention of the stud work will help ensure the structural stability of the historic dwelling and is in the less significant rooms. Panelling can be reinstated in front of the stud work. Impact on Significance: Neutral
4.03	The reinstatement and repair of the internal wall panels to the primary rooms including to the stairwell.	The panels are of historic significance but have been removed, labelled and store on site to insert the steel frame. Heritage Significance : High	The historic panels will be reinstated with new panels in a style to match. This is preserve the setting of the listed building. Impact on Significance: Positive

4.2 Schedule of Works with Impact Appraisal (contd.)

	Proposed Works	Significance	Impact Appraisal
	First Floor (contd.)		
4.04	The removal of the historic wall panel to external walls with inspection and structural repairs. Reinstatement of original panels on a base of of insulated lime plaster.	The panels are of historic significance but the external walls have become structurally unstable threatening the integrity of the whole building. Heritage Significance : High	The repairs to the external wall will preserve the heritage asset. The insulated lime plaster will not be visible but will improved the thermal comfort of the dwelling. The historic panels will be reinstated. Impact on Significance: Positive
4.05	The introduction of interconnecting doors between rooms F2 & F3.	The wall to this location has been removed but was known to have been panelled. Heritage Significance : High	The connecting doors will improve the circulation between the living room and study. The original door will be retained ensuring the original planform is retained. The doors are not visible form the stairwell. Impact on Significance: Neutral
4.06	The introduction of a full height service wall to the bathroom in Room F4	The wall to this location has been removed but was known to have been partially panelled. There has been previous consent for a service wall to this location. Heritage Significance : Medium	The service wall was previously been considered acceptable and the original position of the door from the stair well will be retained. Impact on Significance: Neutral
4.07	The introduction of new fire surrounds to Rooms F1, F2, F3 & F4 adjacent to the party wall.	The rooms have chimney breasts but the fireplaces appear to have been panelled when used as an office. Heritage Significance : Medium	The introduction of the fire surrounds will enhance the historic planform and legibility of the property. Impact on Significance: Positive
4.08	The moving of the doorway to the rear extension from the half landing.	The rear extension is possibly mid 19th century, used as a service area and has have the door position moved before. Heritage Significance : Negligible	The moving of the door will allow for the step to be removed from the half landing and will therefore improve the viability of the dwelling. Impact on Significance: Neutral/ Positive
5.00	Second Floor		
5.01	The introduction of an interconnection door between S1 & S4.	At present to wall is a load bearing stud wall with some historic timber. Originally it may have been plain in appearance. Heritage Significance : Low	The door from the stairwell will be maintained so will preserve the historic planform. The door will not be seen from any historically high significant areas. Impact on Significance: Neutral

4.2 Schedule of Works with Impact Appraisal (contd.)

	Proposed Works	Significance	Impact Appraisal
	Second Floor (contd.)		
5.02	The moving of the doorway to the rear extension from the half landing	The rear extension is possibly mid 19th century openings, used as a service area and has have the door position moved before. Heritage Significance : Negligible	The moving of the door will allow for a better layout to the shower room which will improve the viability of the dwelling. Impact on Significance: Neutral/ Positive
5.03	The introduction of structural steels including to the two hipped corners, to the wall by the stairwell and to the purlin to Room S1	The roof timbers are mostly original but have become structurally unstable Heritage Significance : High	The structural interventions will help prevent structural decline and will preserve the historic property. Impact on Significance: Positive
5.04	The moving of the access hatch from the stairwell to Room S4. The new hatch to have a ladder.	The existing access hatch is relatively modern and positioned at the head of the stairs. Heritage Significance : Negligible	The new location will allow the loft area to be more safely accessed improving the viability of the property. Impact on Significance: Positive
5.05	The introduction of a full height service wall to the bathroom in Room S4.	The wall is currently a plain plastered wall with no features. Heritage Significance : Low	The introduction of the service wall will allow for services and ventilation to the property which will preserve the historic fabric and long term viability. Impact on Significance: Positive
5.06	The introduction of new fire surrounds to Rooms S1, S2 & S4.	The rooms have chimney breasts but the fireplaces appear to have been overboarded when used as an office. Heritage Significance : Medium	The introduction of the fire surrounds will enhance the historic planform and legibility of the property. Impact on Significance: Positive
5.07	The introduction of a dwarf wall between Room S3 and the stairwell.	The room would have historically had a full height wall, which is no longer there. The second floor is considered to be of less significance than lower floors Heritage Significance : Low /Medium	The roof is of an arrangement that it cannot be used as a modern bedroom. The dwarf wall will preserve the historic planform. Impact on Significance: Neutral

4.3 Summary of Heritage Impact

No. 32 The Green is a Grade II* Listed property within the Richmond Green Conservation Area (CA3). The property, due to its location on a corner and access directly to the street, forms a significant part of the Conservation Area. The property itself is of historic significance.

We believe we have presented a holistic view of the property as it is now and how it can be reinstated.

The building is at a critical time. The installation of the steel frame, following the approval in 2012, was introduced to halt the lean of the building and prevent its declining structural stability. However after thorough assessment by the Conservation Engineer the roof structure, upper walls to The Green, rear walls and rear extension are considered to be still moving. The structural works to the second floor roof are therefore urgent and necessary to preserve this heritage asset.

The ground and first floor are considered to house the rooms of most historical significance and the reinstatement of the historic panelling is required. Many of the interventions regarding the layout have been consented to in previous applications and planning conditions. The proposed introduction of additional interconnecting doors between rooms will have an impact on the reinstatement of the panelling but we believe will cause minimal harm to the overall historic significance of the interior of the property. Particularly as the original door positions will be retained to preserve the planform.

The introduction of new replica fire surrounds to the chimney breasts to all building will also have a positive impact to the Listed Building and legibility of the planform.

We believe the introduction of a coherent services and fire strategy will benefit the historic dwelling in the long term.

Overall we believe the proposed works as outline in the application would have a positive impact on both the historic Grade II* listed structure and the wider Conservation Area.