



## **HERITAGE & PLANNING STATEMENT**

**PLANNING APPLICATION FOR THE CONVERSION OF THE  
LOFT INTO A HABITABLE ROOM AND ENSUITE SHOWER  
ROOM WITH DORMER WINDOW TO THE REAR ELEVATION.**

**297 Waldegrave Road, Twickenham, TW1 4SU**

**PREPARED BY  
FIONA JONES BSc(Hons) BTP MRTPI**

**NOVEMBER 2024**



## 1.0 INTRODUCTION

- 1.1 Paragraph 200 of the National Planning Policy Framework (2023) (NPPF) advises that when development affecting a heritage asset is proposed, the planning authority should require an applicant to demonstrate that they have considered the impact of their proposals on the significance of the asset. An assessment of the significance of the impact should be included within a heritage statement.
- 1.2 This document is a heritage and planning statement that sets out the impact of the proposal on the significance of the adjacent Strawberry Hill Road Conservation Area and the neighbouring Grade I listed building and Grade II\* listed historic park and garden; Strawberry Hill in order to comply with the requirements of the NPPF and the Council's Local List requirements. An assessment against the planning policy framework for the Council will also be included.
- 1.3 The applicants have taken into account Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requiring decision makers to have special regard to the desirability of preserving or enhancing the character or appearance of a conservation area. As will be demonstrated within the application documents, the development preserves the character and appearance of the adjacent Strawberry Hill Road Conservation Area in compliance with the Planning Act 1990.
- 1.4 The proposed development is not considered to have a detrimental impact on the setting of the designated heritage asset; Strawberry Hill building and park.

## 2.0 SITE AND SURROUNDINGS

- 2.1 The site comprises a two-storey semi-detached single family dwellinghouse situated on the north-western side of Waldegrave Road (A309) in Twickenham.
- 2.2 The application site lies outside of the Strawberry Hill Road Conservation Area, where it adjoins to the application site's western boundary. The site is not designated as a Building of Townscape Merit. Directly opposite the site to the south is the Grade I listed building; Strawberry Hill and Grade II\* Historic Park and Garden. Due to the heritage assets which adjoin the site, a review of the impact on these are set out below.
- 2.3 The photograph below shows the rear of the property.



### 3.0 PLANNING HISTORY

3.1 All planning history which is available to view on the Council's website is listed below:

- 24/2448/HOT – Conversion of the garage into a habitable room with new window to the front elevation. Demolition of existing garden wall and the construction of a new wall fronting the highway with electric double gates and a pedestrian gate – Submitted to the LPA and pending consideration.
- 92/1574/FUL – Provision of vehicular access – Granted permission 19/10/1992
- 90/01786/FUL – Two storey front/side extension incorporating garage – Granted permission 06/11/1990
- 89/1498/FUL – Two storey side extension incorporating garage – Refused permission 24/10/1989. Appeal Dismissed on 29/06/1990.
- 47/2410 – The erection of a garage for two cars and the provision of new vehicular access – Granted permission 28/06/1951

## 4.0 PROPOSAL

- 4.1 This planning application seeks planning permission for the conversion of the loft into a habitable room with ensuite shower room facilitated by a rear flat roofed dormer and new windows to the rear elevation. A small skylight will also be added above the stairs on the side elevation roofscape.

## 5.0 PLANNING POLICY

- 5.1 The development plan comprises the Richmond upon Thames Local Development Local Plan (July 2018) and the London Plan (2021). The National Planning Policy Framework (NPPF) from 2023 is also a material consideration.

### **National Planning Policy Framework 2023 (NPPF)**

- 5.2 The NPPF requires, at section 12, high quality buildings and beautiful design which is a key aspect to sustainable development. Paragraph 135 states that development should be visually attractive as a result of good architecture and layout and are sympathetic to local character and history.

### Heritage assets

- 5.3 Paragraph 203 states that local planning authorities should take account of:
- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
  - b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
  - c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 5.4 Paragraph 208 states that “Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.”
- 5.5 Paragraph 209 states that “The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced

judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset”.

### **London Plan**

5.6 The main London Plan policies applying to the site are:

- Policy D4 - Delivering good design
- Policy HC1 - Heritage Conservation and Growth
- Policy D12 - Fire Safety

### **Richmond upon Thames Local Plan**

5.7 The policies which are relevant to this proposal are:

- i. LP1 Local Character and Design Quality
- ii. LP3 Designated Heritage Assets

### **Richmond Publication Local Plan (Regulation 19 version)**

5.8 The Richmond Publication Version Local Plan (Regulation 19 version) and its supporting documents, including all the Regulation 18 representations received, was considered at Full Council on 27 April. Approval was given to consult on the Regulation 19 Plan and, further, to submit the Local Plan to the Secretary of State for Examination in due course. The Publication Version Local Plan, including its accompanying documents, have been published for consultation on 9 June 2023. Together with the evidence, the Plan is a material consideration for the purposes of decision-making on planning applications.

5.9 The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. Relevant policies are:

- Policy 28: Local character and design quality
- Policy 29. Designated heritage assets

## Supplementary Planning Document 'House Extensions and External Alterations' 2015.

5.10 Section 8.1.1 of the SPD for House Extensions relates to Roof Extensions and states:

- Dormer windows and other roof extensions must not project above the ridgeline - **complies.**
- Roof extensions should not dominate the original roof. Normally a significant area of the existing roof should be left beneath a new dormer and on either side of the dormer, thus setting the extension well in from either side of the roof. It may be more successful to incorporate two smaller dormers than one large dormer **complies – the dormer would be modest in scale and would not dominate the roof.**
- Dormer windows should be smaller than that of windows of the floor below – **the proposed window design** is a Juliet balcony window for the bedroom (which is acceptable under a permitted development scenario) and a small standard window for the bathroom, therefore whilst it may not be 'in compliance' it should not be considered to make the whole proposal unacceptable, further it should be noted that the first floor window immediately below is a large triple width tall window and the ground floor window immediately below is a very large sliding set of double glass doors.
- Keep existing profiles – Dormer windows should not wrap round two sides of a hip roof and interrupt the roof profile - **complies.**
- Ensure sensitivity to the existing character – A dormer window with a flat roof may be out of character with the original building. Hipped or gabled dormers are often preferable, or alternatively consider using roof lights. In order to create sufficient internal headroom, it may be acceptable as a compromise to have a small dormer with a flat roof – **complies – this flat roofed dormer would be appropriate for this roof.**
- Match/or use complementary materials – The side of dormer windows should be covered in materials that match or complement the main roof - **complies.**

## THE CONSERVATION AREA

- 5.11 Strawberry Hill Road Conservation Area lies within the suburban area of Strawberry Hill to the southwest of Twickenham centre, just south of the focus of Strawberry Hill Station and west of Strawberry Hill. It is contained by Waldegrave Road, Strawberry Hill (St Mary's College) and the railway line.
- 5.12 The two parallel treed avenues of Strawberry Hill Road and Waldegrave Gardens form Strawberry Hill Road Conservation Area. Both roads gently curve between Tower Road and Waldegrave Road, allowing subtly changing views along their lengths. The station terminates the view north along Strawberry Hill Road. These avenues are lined with substantial two and a half-storey late Victorian houses set in generous garden plots with mature planting and important spaces between buildings. The front boundary treatments are varied but to provide an important sense of enclosure to the street. In contrast to Strawberry Hill Road the houses of Waldegrave Gardens are generally more modest in scale, being of 2 or 2 and a half storeys and occupying smaller gardens plots. There are also two groups of semi-detached houses at its northern end. The houses of both these roads are unified by the use of red brick with varied detailing in brick, terracotta, tile hanging, and stone. Further enlivened by bay windows, balconies, porches and timber sliding sash windows. They have a characterful and complex roofscape of steeply gabled clay tile roofs, hips and integral dormers with prominent brick chimneys. This exceptional residential estate is similar in age and character to Waldegrave Park to the southeast.

As set out in the Strawberry Hill Road Conservation Area Statement:

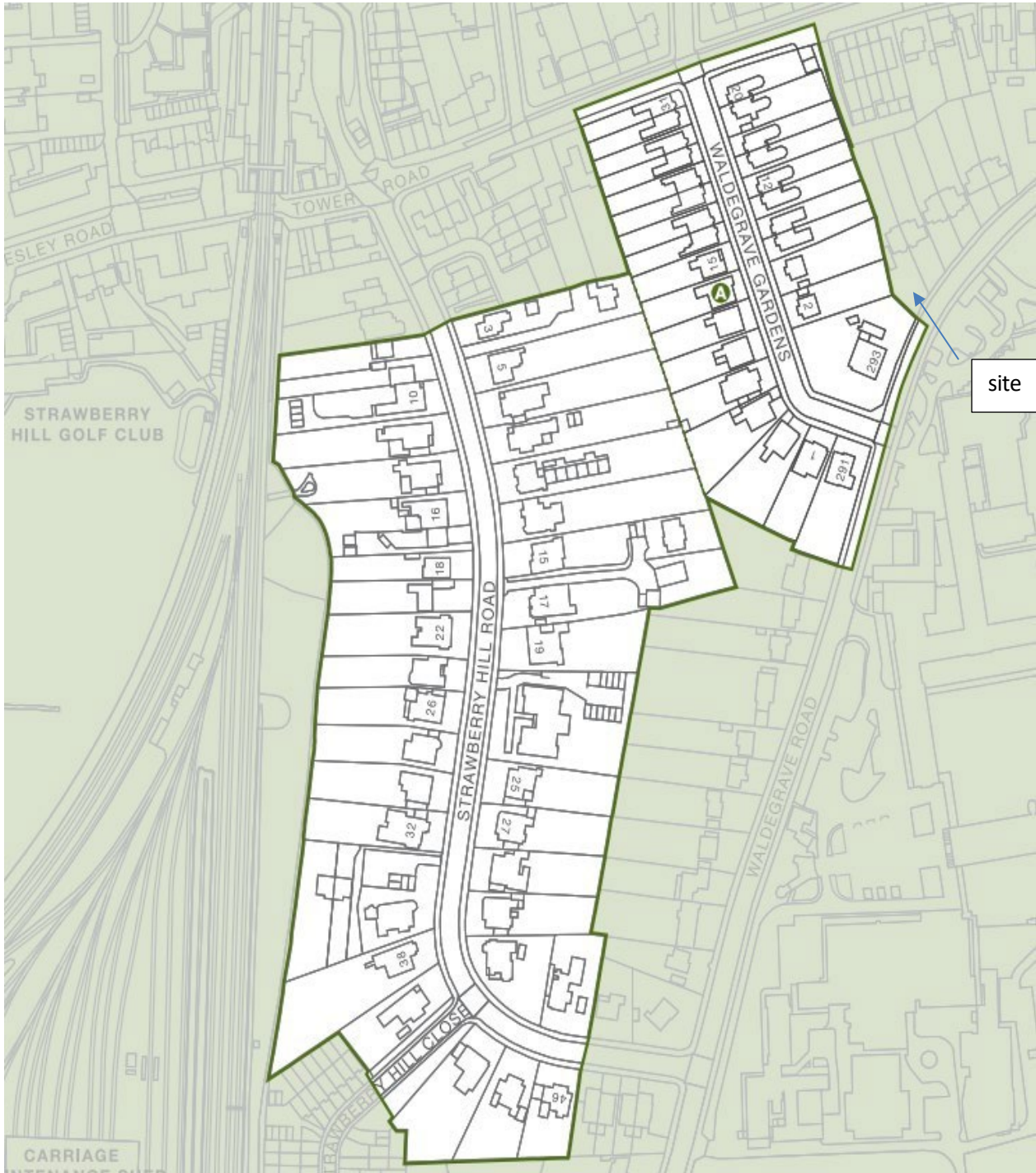
### Problems and Pressures

- Loss of traditional architectural features and materials due to unsympathetic alterations
- Loss of front boundary treatments and front gardens for car parking
- Lack of coordination and poor quality of street furniture and flooring
- Domination of traffic, parked vehicles and poor pedestrian safety leading to clutter of signage and street furniture

### Opportunity for Enhancement

- Preservation, enhancement and reinstatement of architectural quality and unity
- Retain and enhance front boundary treatments and discourage increase in the amount of hard surfacing in front gardens

- Coordination of colour and design and improvement in quality of street furniture and flooring
- Improvement of highways conditions and pedestrian convenience, and rationalisation of existing signage and street furniture
- Areas identified for environmental improvement include: Environs of Strawberry Hill Station





## 6.0 PLANNING CONSIDERATIONS

6.1 The main considerations to be considered are the impact of the proposed design upon the host dwelling and the character and appearance of the adjacent Strawberry Hill Road Conservation Area and neighbouring Grade I listed building and Grade II\* historic park and garden (Strawberry Hill).

### **Design and heritage issues**

6.2 In terms of such a heritage asset there is a duty imposed by Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 requiring decision makers to have special regard to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

6.3 The application site lies outside of the Strawberry Hill Road Conservation Area, with the site's western boundary adjoining directly to it. As such, the application site is considered to lie within the setting of the conservation area.

6.4 The proposed conversion of the existing loft to a habitable room would comprise of internal alterations, except for the construction of a rear dormer window and fenestration alterations. The proposed dormer window would match the appearance and design of the existing fenestration details of the dwellinghouse.

6.5 The proposed development would allow for the existing loft to be used as a habitable room. The proposed dormer window would be located at the rear elevation of the building and therefore would not be readily visible from the street scene. Notwithstanding this, it has been designed to ensure it integrates well with the existing dwelling, through matching materials whilst also setting the roof dormer down from the roof ridge, up from the roof eaves and in from the edges of the roof to ensure it appears subordinate with the existing roof.

6.6 The existing dwelling, and in particular the rear elevation, is obscured from the conservation area due to the presence of trees. Loft conversions within the street scene are evident, including at the neighbouring property, 299 Waldegrave Road where roof lights have been added. The proposal has been designed to ensure compliance with the House Extensions and External Alterations SPD (2015). The dormer has been proposed at the rear elevation, would not project above the ridgeline, would leave a significant area of roof beneath the new dormer and on either side, would comprise of a small flat roofed dormer to ensure the character of the original building is not compromised and would be covered in materials to match the main roof. As such, the proposed roof dormer and loft conversion are considered to preserve the character and appearance of the adjacent conservation area and would have no detrimental impact upon the

setting of the neighbouring listed building and historic park and garden. Further, the skylight would not appear visually disruptive. It is noted that the roof of the neighbouring house includes many rooflights, presumably added via their permitted development rights and so the proposed skylight would be in keeping with others in the road.

- 6.7 It is not considered that the proposed development would be out of keeping with the existing street scene, nor the adjacent designated heritage assets.
- 6.8 By virtue of the developments design and scale, the character of the house and street scene and appearance of the Strawberry Hill Road Conservation Area within which it is adjacent to would be overall preserved. As such, the proposal complies with Policy LP1 and LP3 of the Local Plan (July 2018) and the historic environment policies of the Framework and Policy 28 and 29 of the draft Local Plan (June 2023).

### **Fire Safety**

- 6.9 London Plan policy D12 requires the submission of a Fire Safety Statement on all planning applications. A Fire Safety Statement is submitted with this application. The scheme is considered to be consistent with this Policy D12 of the London Plan.

## **7.0 CONCLUSIONS**

- 7.1 The National Planning Policy Framework (NPPF) states that the creation of high quality and beautiful buildings and places is fundamental to what the planning and development process should achieve.
- 7.2 The significance of the heritage asset of the Strawberry Hill Road Conservation Area is in the appearance of the buildings which front the main road. In this instance, the proposed development is considered to preserve the character and appearance of the adjacent conservation area.
- 7.3 Overall, the proposal is considered to comply with the NPPF and policies LP1 and LP3 of the Richmond upon Thames Local Plan 2018, the aims of the SPD 'House Extensions and External Alterations' and to the NPPF. We trust you can grant planning permission for this proposed development.