

**16 St Peter's Road**

**Condition Discharge**

**REFERING TO APPLICATION 22/1755/LBC  
DECISION NOTICE 1 SEPTEMBER 2022**

**DETAILED APPLICATION:  
U0136961**

**Materials**

Prior to the commencement of the development, details, and samples of the materials to be used in the external construction of the works hereby approved, including the proposed extension, dormers roof materials and fenestration shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and retained as such thereafter.

**REASON**

In order to safeguard the special architectural or historic interest of the grade II listed building and character of the Conservation Area.

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**Condition Discharge Statement:**

The proposed external materials are as follows:

**Dormer windows:** The dormer roof materials are lead lining to roof and dormer checks with painted timber box sash windows as shown on drawing Sk919 (material palette 01/04). The construction details of the dormer windows are as shown on drawings Sk42 and Sk43.

**The roof light:** To the main roof of the building are to be plateau conservation roof lights on tern coated stainless steel. The roof light in slate pitched roof will be CI low profile conservation roof light with lead flashings, all as shown on drawing SK920 (material palette 02/04). The construction detail for roof lights is as shown on drawings Sk44, Sk45, Sk46, and Sk47.

**New extension:** The proposed roof material for the new extension will be a tern coated stainless steel roof with a low profile stainless steel roof light as shown on drawing Sk921 (material palette 03/04). The proposed wall surface of the extension will be painted lime render. The fenestration to the new extension is stainless steel frameless glazing system as shown on drawing Sk922 (material palette 04/04).

**Condition Discharge Documents:**

LBRuT to revert if actual physical material samples will be required.

For precedent images confirming proposed materials please refer to BHA detail drawings listed below:

- Sk919\_Proposed New External Materials Pallet (1of4) Dormer Roof Materials
- Sk920\_Proposed New External Materials Pallet (2of4) Main roof and roof light materials
- Sk921\_Proposed New External Materials Pallet (3of4) Extension Roof materials
- Sk922\_Proposed New External Materials Pallet (4of4) Elevation materials

For details and location of proposed materials see:

Elevation studies:

- Sk26D\_Proposed General Arrangement Roof Plan
- Sk27A\_Proposed Southwest (Front) Elevation
- Sk28A\_Proposed Southeast & Northwest (Side) Elevations
- Sk29A\_Proposed Northeast (Rear) GA Elevation

Extension Wall and fenestration see construction studies:

- Sk30\_Main Kitchen Extension Northeast Elevation (1:25)
- Sk31\_Main Kitchen Extension Southeast & Southwest Elevation

Dormer window construction details:

- Sk42A\_Typical Dormer Setting Out Assembly (Sheet 1 of 2)
- Sk43A\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)

Roof light details:

- Sk44A\_Conservation Roof light nRL02 Detail Assembly
- Sk45A\_nRL03 & nRL05 Roof light Detail Assembly
- Sk46\_nRL02 Conservation Roof light Details
- Sk47\_Typical Plateau Roof light Details



Close up example from a previous Butler Hegarty Architects' project of our proposed Sk48 corner junction detail between the dormer cheek leadwork and white painted timber lining boards.



**above image:**  
Example of late 19c Victorian dwelling's mansard roof with three dormer windows lead lined cheeks. As per our 16 St Peters proposals the white painted timber box sash windows in this example comprise one over one fenestration. Additionally, their adjacent white timber lining boards provide a stop to the dormer cheek leadwork on the front face to meet the sash window as per our proposed details on BHA drawing **Sk42, Sk43 & Sk48**.



**above images:**  
Example from a previous Butler Hegarty Architects project of the proposed leadwork roof and cheeks to be used on the three new 16 St Peters Road dormer windows including the lead lined curved hood eaves above the sash window. This example also shows the proposed corner junction detail between the dormer cheek leadwork and white painted timber lining boards.

**PROPOSED PALLET OF LEAD AND WHITE PAINTED TIMBER TO NEW DORMER WINDOWS**



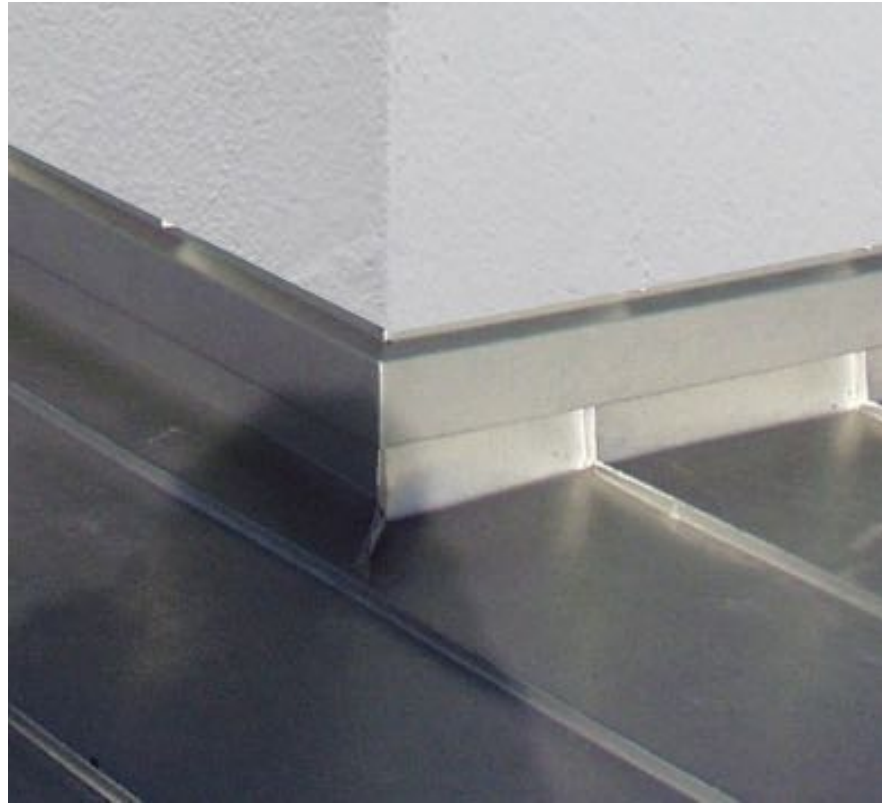
above images:  
Examples of *The Original Conservation Rooflight* by The Rooflight Company with lead flashing proposed on South West (Front) Elevation (**Rooflight Ref: nRL02**) for the second floor Bathroom 2R7 and installed to manufactures recommendations to finish flush with the existing pitched slate roof.

above images:  
Examples of *The Plateau Conservation Rooflight* by The Rooflight Company proposed for the existing house new rooflights (**Rooflight Ref: nRL03,04,05 & 06**) and installed to manufactures recommendations on the proposed new Terne Coated Stainless Steel hipped roof cover.

**For Details please refer to BHA drawings:**  
Sk44\_Conservation Rooflight nRL03 Detail Assembly  
Sk45\_nRL06 & nRL04 Rooflight Detail Assembly  
Sk46\_nRL02 Conservation Rooflight Details  
Sk47\_Typical Plateau Rooflight Details

**For General Arrangement Location:**  
Sk26\_Proposed General Arrangement Roof Plan  
Sk27\_Proposed South West (Front) Elevation  
Sk28\_Proposed South East & North West (Side) Elevations  
Sk29\_Proposed North East (Rear) GA Elevation

**PROPOSED NEW CONSERVATION ROOFLIGHTS TO EXISTING HOUSE MAIN ROOF REFURBISHMENT.**



**Above image:**  
Example of Terne Coated Stainless Steel parapet, (with folded seams), as proposed to cap the 16 St Peters Road new build side extension's white painted lime render walls.

**Top image:**  
Example of Terne Coated Stainless Steel abutment detail to white painted lime render wall proposed for junction between new side extension roof and existing house's side elevation.

**Above image:**  
Example of Terne Coated Stainless Steel concealed gutter parapet, (with folded seams), over white painted render wall as proposed on the new build side extension roof.

**Top image:**  
Example of Terne Coated Stainless Steel upstand detail to rooflight as proposed on the new build side extension roof.

**TERNE COATED STAINLESS STEEL STANDING SEAM  
ROOFING MATERIAL PROPOSED FOR NEW SIDE  
EXTENSION AND MAIN HOUSE ROOF REFURBISHMENT.**

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**For Details please refer to BHA drawings:**  
Sk80\_Main Kitchen Extension Longitudinal Section X-X  
Sk81\_Main Kitchen Extension Cross Section Y-Y  
Sk82\_Main Kitchen Extension Roof Structure & Roof Plan  
Sk83\_Main Kitchen Extension Roof Details (Sheet 1of2)  
Sk84\_Main Kitchen Extension Roof Details (Sheet 2of2)

**For General Arrangement Location:**  
Sk30\_Main Kitchen Extension North East Elevation  
Sk31\_Main Kitchen Extension South East & South West Elevation

**16 St. Peters Road**  
Title: Proposed New External Materials Pallet (3of4).  
Drawing No: 0822522-Sk921 Scale: nts @ A3



**Above image:**  
Close up detail of Sky-Frame Classic brushed stainless steel frameless glazed sliding door system set within a newbuild white lime rendered modern building as proposed on the rear garden elevation of the new extension.

**Top image:**  
Sky-Frame Classic example with three panel fenestration arrangement behind frameless glazed balustrade with brushed stainless steel terrace edge cover plate.

**Above image:**  
Example from a single storey modern extension with the same materiality of white painted lime rendered and Terne Coated Stainless Steel parapet coping.

**Top image:**  
Further example of Sky-Frame Classic sliding door system set within a newbuild white single storey rendered modern extension with a folded metal parapet coping.

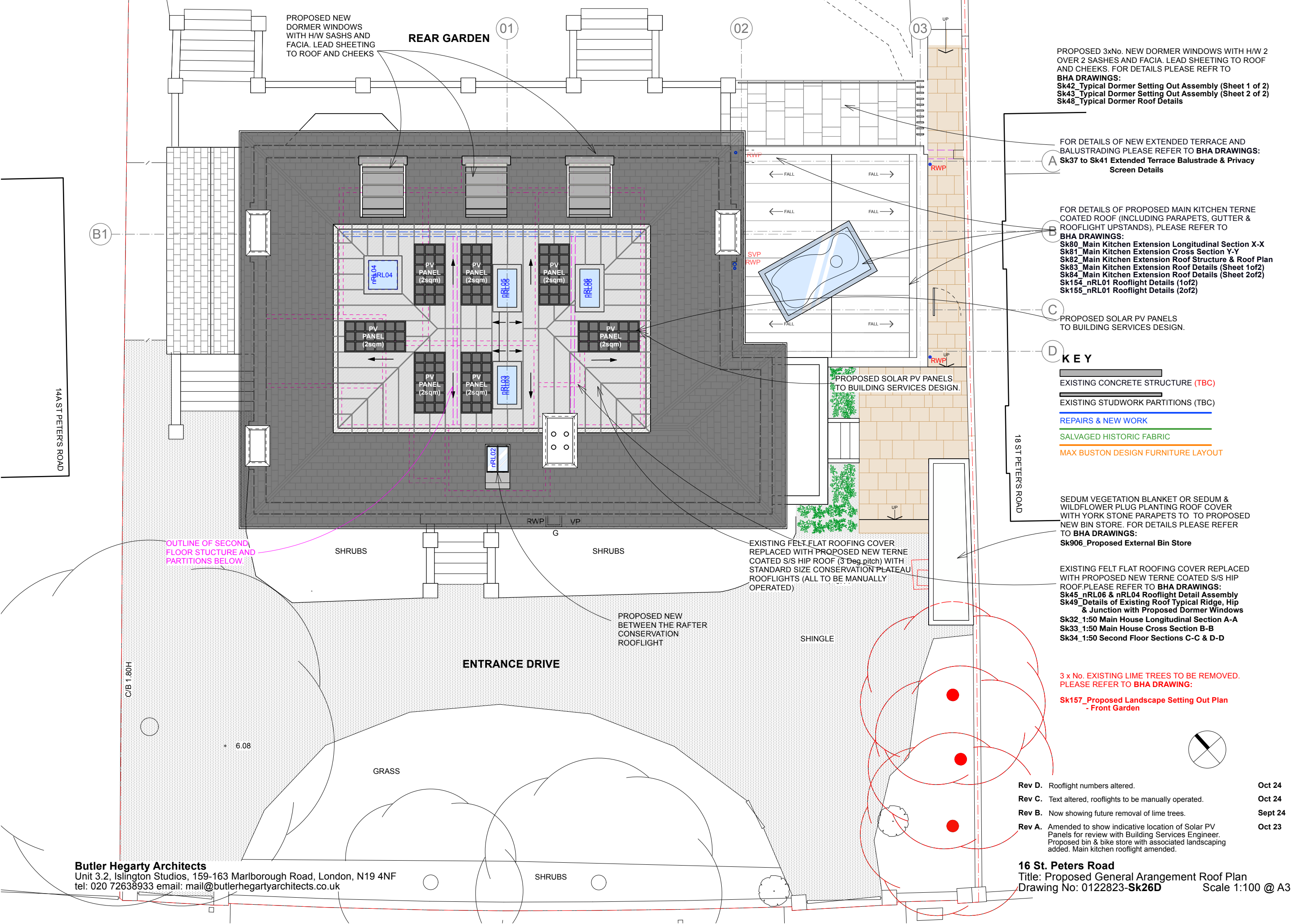
**PROPOSED PALLET OF WHITE PAINTED LIME RENDER AND BRUSHED ALUMINIUM FRAMELESS GLAZED SLIDING DOORS TO NEW EXTENSION.**

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**For Details please refer to BHA drawings:**  
Sk80\_Main Kitchen Extension Longitudinal Section X-X  
Sk81\_Main Kitchen Extension Cross Section Y-Y  
Sk83\_Main Kitchen Extension Roof Details (Sheet 1of2)  
Sk84\_Main Kitchen Extension Roof Details (Sheet 2of2)  
Sk37\_Extended Terrace Balustrade & Privacy Screen Details (Sheet 1of4)  
Sk38\_Extended Terrace Balustrade & Privacy Screen Details (Sheet 2of4)  
Sk39\_Extended Terrace Balustrade & Privacy Screen Details (Sheet 3of4)  
Sk40\_Extended Terrace Balustrade & Privacy Screen Details (Sheet 4of4)  
Sk146\_nDG05 Frameless Glazed Sliding Door Details (1of2)  
Sk147\_nDG05 Frameless Glazed Sliding Door Details (2of2)

**For General Arrangement Location:**  
Sk30\_Main Kitchen Extension North East Elevation  
Sk31\_Main Kitchen Extension South East & South West Elevation

**16 St. Peters Road**  
Title: Proposed New External Materials Pallet (4of4).  
Drawing No: 0822522-Sk922 Scale: nts @ A3



PROPOSED NEW DORMER WINDOWS WITH H/W SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS

REAR GARDEN

01

02

03

PROPOSED 3xNo. NEW DORMER WINDOWS WITH H/W 2 OVER 2 SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS. FOR DETAILS PLEASE REFER TO BHA DRAWINGS:  
 Sk42\_Typical Dormer Setting Out Assembly (Sheet 1 of 2)  
 Sk43\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)  
 Sk48\_Typical Dormer Roof Details

FOR DETAILS OF NEW EXTENDED TERRACE AND BALUSTRADING PLEASE REFER TO BHA DRAWINGS:  
 Sk37 to Sk41 Extended Terrace Balustrade & Privacy Screen Details

FOR DETAILS OF PROPOSED MAIN KITCHEN TERNE COATED ROOF (INCLUDING PARAPETS, GUTTER & ROOFLIGHT UPSTANDS), PLEASE REFER TO BHA DRAWINGS:  
 Sk80\_Main Kitchen Extension Longitudinal Section X-X  
 Sk81\_Main Kitchen Extension Cross Section Y-Y  
 Sk82\_Main Kitchen Extension Roof Structure & Roof Plan  
 Sk83\_Main Kitchen Extension Roof Details (Sheet 1of2)  
 Sk84\_Main Kitchen Extension Roof Details (Sheet 2of2)  
 Sk154\_nRL01 Rooflight Details (1of2)  
 Sk155\_nRL01 Rooflight Details (2of2)

PROPOSED SOLAR PV PANELS TO BUILDING SERVICES DESIGN.

**KEY**

- EXISTING CONCRETE STRUCTURE (TBC)
- EXISTING STUDWORK PARTITIONS (TBC)
- REPAIRS & NEW WORK
- SALVAGED HISTORIC FABRIC
- MAX BUSTON DESIGN FURNITURE LAYOUT

SEDUM VEGETATION BLANKET OR SEDUM & WILDFLOWER PLUG PLANTING ROOF COVER WITH YORK STONE PARAPETS TO TO PROPOSED NEW BIN STORE. FOR DETAILS PLEASE REFER TO BHA DRAWINGS:  
 Sk906\_Proposed External Bin Store

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF. PLEASE REFER TO BHA DRAWINGS:  
 Sk45\_nRL06 & nRL04 Rooflight Detail Assembly  
 Sk49\_Details of Existing Roof Typical Ridge, Hip & Junction with Proposed Dormer Windows  
 Sk32\_1:50 Main House Longitudinal Section A-A  
 Sk33\_1:50 Main House Cross Section B-B  
 Sk34\_1:50 Second Floor Sections C-C & D-D

3 x No. EXISTING LIME TREES TO BE REMOVED. PLEASE REFER TO BHA DRAWING:  
 Sk157\_Proposed Landscape Setting Out Plan - Front Garden

- Rev D. Rooflight numbers altered. Oct 24
- Rev C. Text altered, rooflights to be manually operated. Oct 24
- Rev B. Now showing future removal of lime trees. Sept 24
- Rev A. Amended to show indicative location of Solar PV Panels for review with Building Services Engineer. Proposed bin & bike store with associated landscaping added. Main kitchen rooflight amended. Oct 23

16 St. Peters Road  
 Title: Proposed General Arrangement Roof Plan  
 Drawing No: 0122823-Sk26D Scale 1:100 @ A3

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OUTLINE OF SECOND FLOOR STRUCTURE AND PARTITIONS BELOW:

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF (3° Deg pitch) WITH STANDARD SIZE CONSERVATION PLATEAU ROOFLIGHTS (ALL TO BE MANUALLY OPERATED)

PROPOSED NEW BETWEEN THE RAFTER CONSERVATION ROOFLIGHT

SHINGLE

ENTRANCE DRIVE

GRASS

SHRUBS

SHRUBS

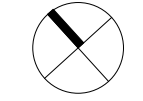
SHRUBS

14A ST PETERS ROAD

18 ST PETERS ROAD

C/B 1.80H

+ 6.08



BOUNDARY LINE TO 14a ST. PETER'S ROAD

BOUNDARY LINE TO 18 ST. PETER'S ROAD

PROPOSED RAFTER CONSERVATION  
ROOFLIGHT nRL02  
Please refer to Sk44 and  
Sk46 for details of nRL02



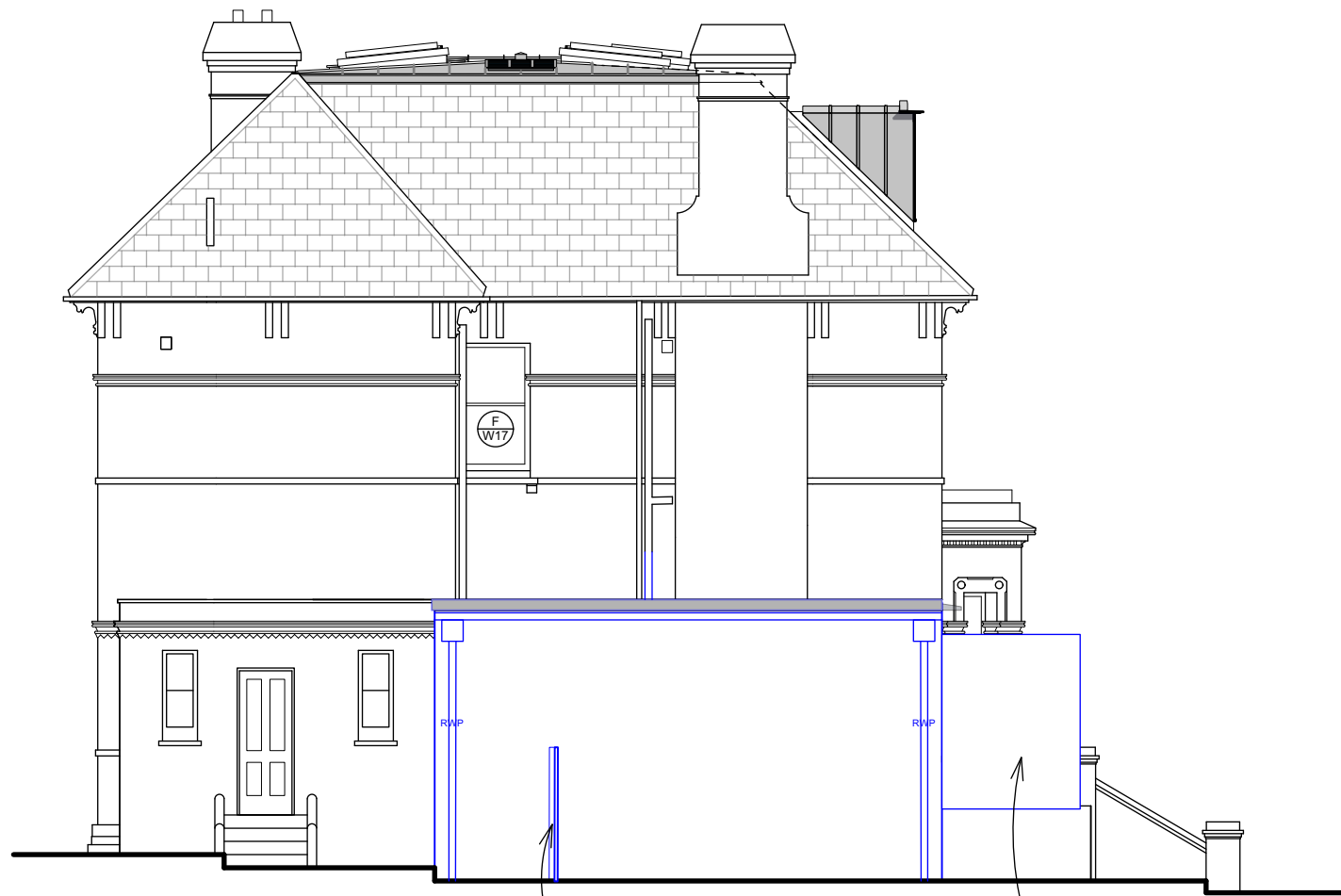
PROPOSED BIKE STORE Painted  
Hardwood Doors To Covered Bike  
Storage Area To Match New Bin  
Store Doors  
Please refer to Sk103 for  
details of the proposed  
bike store

Please refer to Sk85 for  
details of nDG02

PROPOSED BIN STORE  
Please refer to Sk101 for  
details of the proposed  
bin store

### Proposed South West (Front) Elevation





PROPOSED FENCE

PROPOSED SOLID PRIVACY SCREEN  
Please refer to Sk37, Sk38,  
Sk39, and Sk40 for details of  
the proposed privacy screen

**Proposed South East (Side) Elevation**



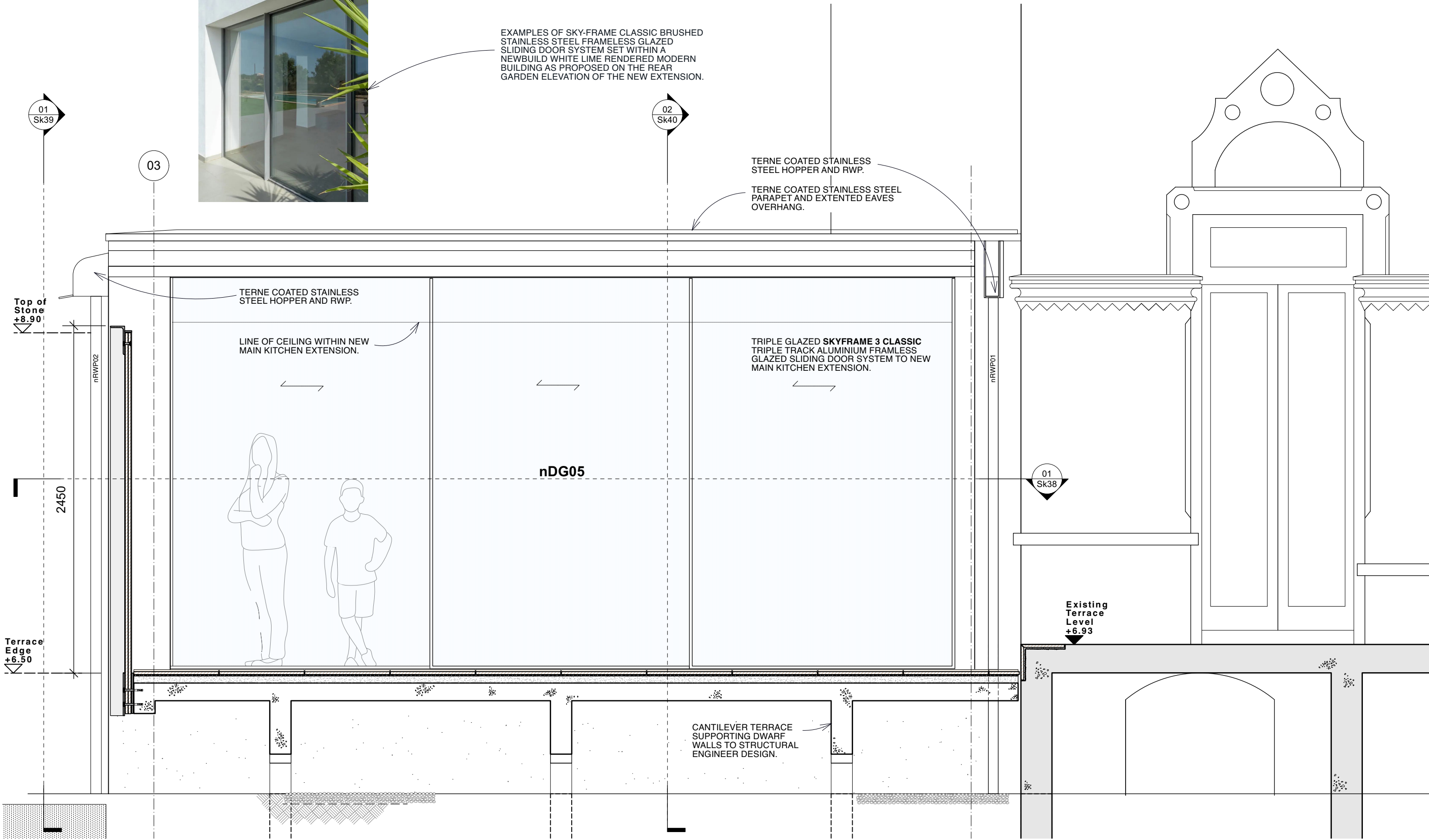
PROPOSED BIN STORE  
Please refer to Sk101 for  
details of the proposed  
bin store

**Proposed North West (Side) Elevation**





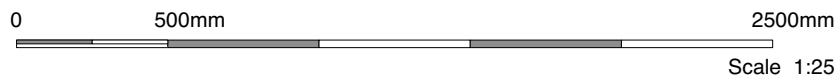
EXAMPLES OF SKY-FRAME CLASSIC BRUSHED STAINLESS STEEL FRAMELESS GLAZED SLIDING DOOR SYSTEM SET WITHIN A NEWBUILD WHITE LIME RENDERED MODERN BUILDING AS PROPOSED ON THE REAR GARDEN ELEVATION OF THE NEW EXTENSION.



**01. MAIN KITCHEN EXTENSION NORTH EAST ELEVATION  
(Scale 1:25)**

To be read in conjunction with BHA Drawings Sk38, Sk39 and Sk40

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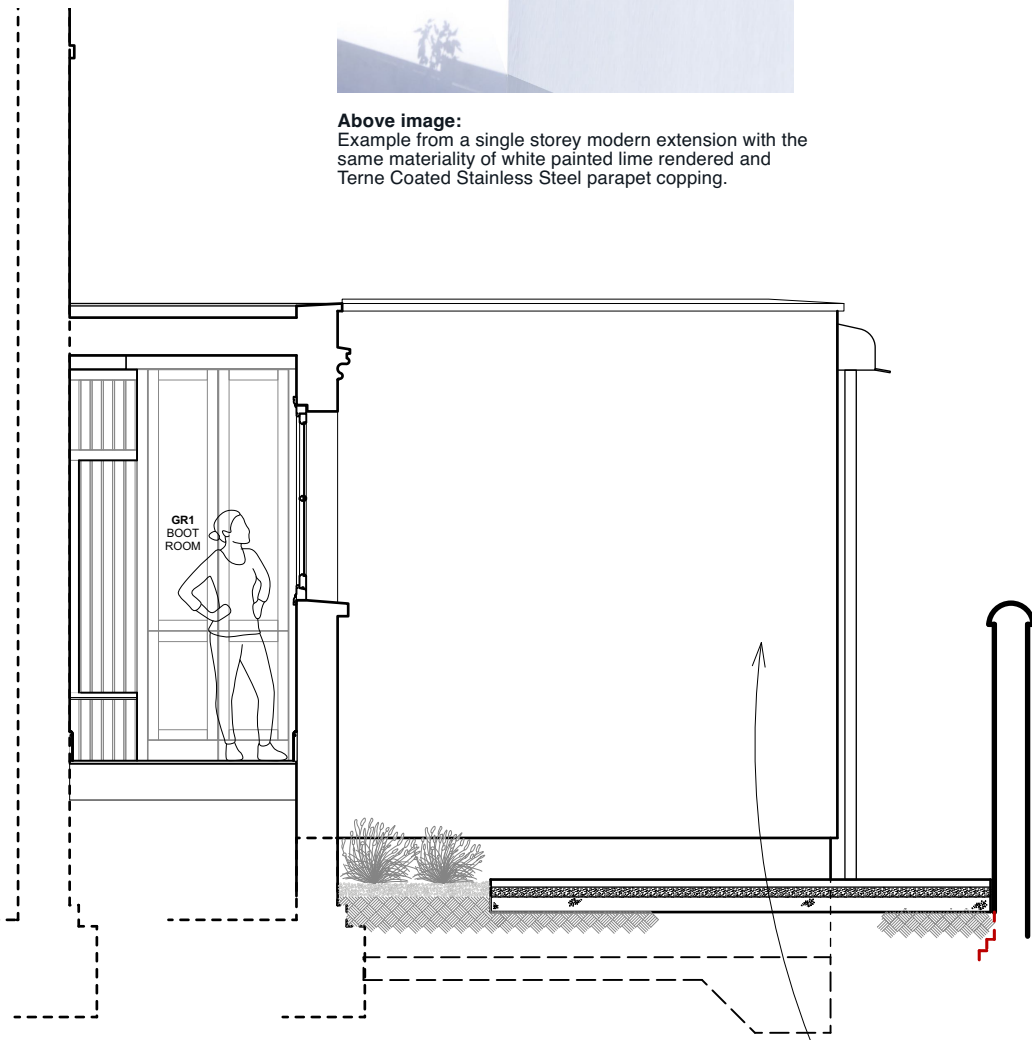


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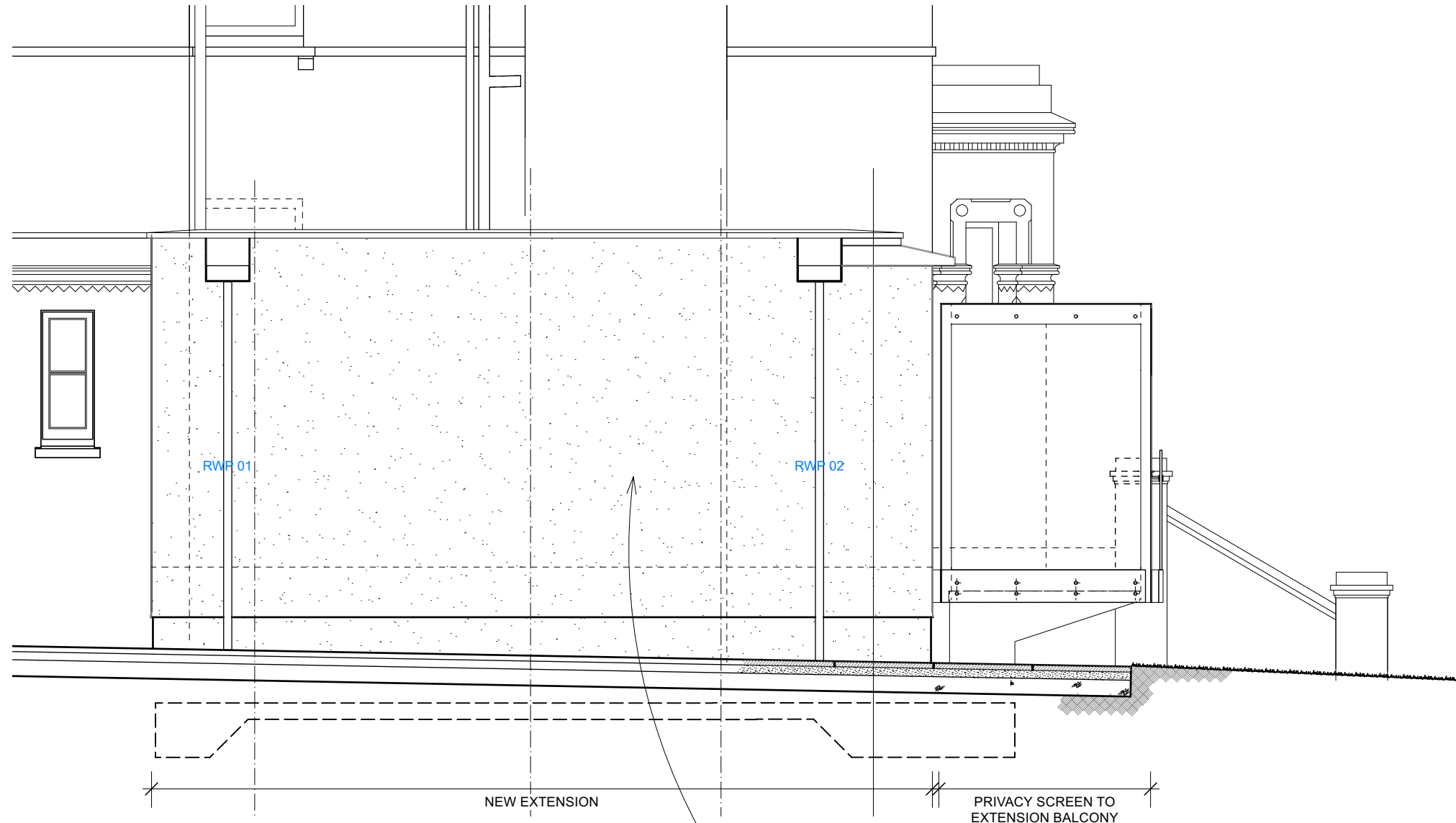
**16 St. Peters Road**  
Title: Main Kitchen Extension North East Elevation  
Drawing No: 0122823-Sk30 Scale 1:25 @ A3



**Above image:**  
 Example from a single storey modern extension with the same materiality of white painted lime rendered and Terne Coated Stainless Steel parapet coping.



**01. MAIN KITCHEN EXTENSION  
 SOUTH WEST ELEVATION  
 (Scale 1:50)**



**01. MAIN KITCHEN EXTENSION  
 SOUTH EAST ELEVATION  
 (Scale 1:50)**

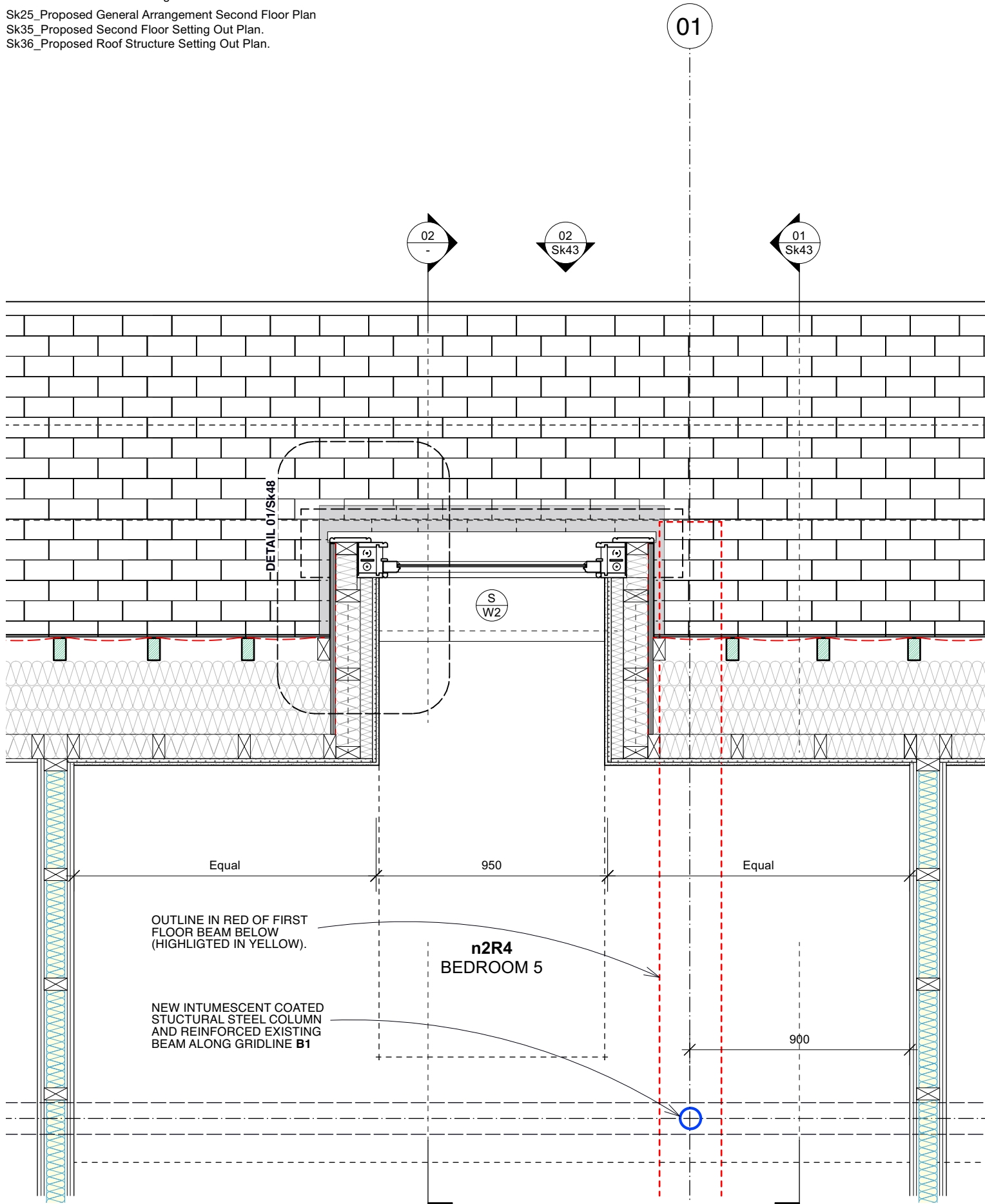
**NOTES**

Please read with BHA drawings:

Sk25\_Proposed General Arrangement Second Floor Plan

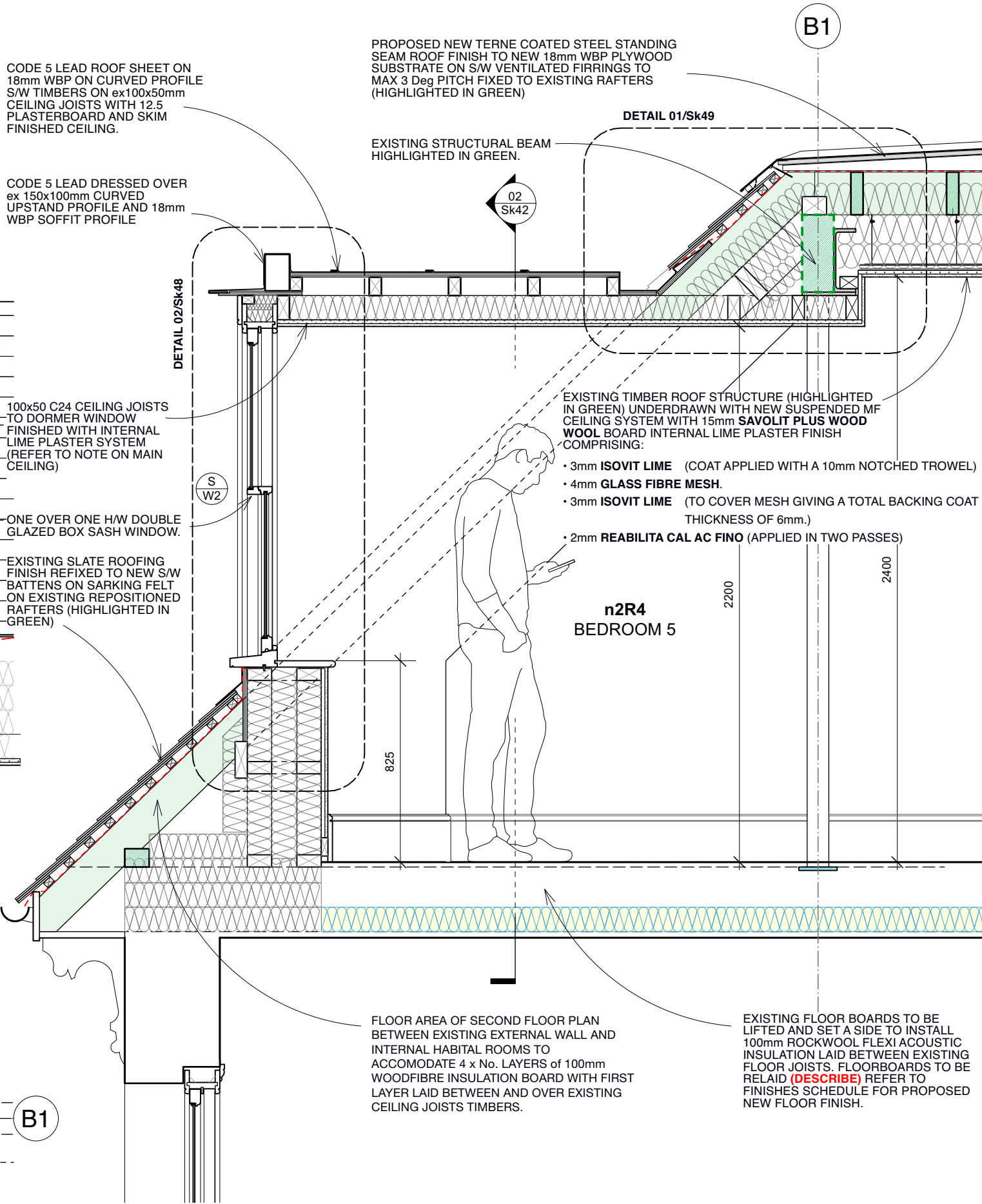
Sk35\_Proposed Second Floor Setting Out Plan.

Sk36\_Proposed Roof Structure Setting Out Plan.



**01. PLAN ABOVE WINDOW CILL**  
(Scale 1:20)

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**02. PART SECTION**  
(Scale 1:20)

Scale 1:20

**DO NOT SCALE**

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS (HIGHLIGHTED IN GREEN)

CODE 5 LEAD ROOF SHEET ON 18mm WBP ON CURVED PROFILE S/W TIMBERS ON ex100x50mm CEILING JOISTS WITH 12.5 PLASTERBOARD AND SKIM FINISHED CEILING.

CODE 5 LEAD DRESSED OVER ex 150x100mm CURVED UPSTAND PROFILE AND 18mm WBP SOFFIT PROFILE

EXISTING STRUCTURAL BEAM HIGHLIGHTED IN GREEN.

100x50 C24 CEILING JOISTS TO DORMER WINDOW FINISHED WITH INTERNAL LIME PLASTER SYSTEM (REFER TO NOTE ON MAIN CEILING)

ONE OVER ONE HW DOUBLE GLAZED BOX SASH WINDOW.

EXISTING SLATE ROOFING FINISH REFIXED TO NEW S/W BATTENS ON SARKING FELT ON EXISTING REPOSITIONED RAFTERS (HIGHLIGHTED IN GREEN)

EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm SAVOLIT PLUS WOOD WOOL BOARD INTERNAL LIME PLASTER FINISH COMPRISING:

- 3mm ISOVIT LIME (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
- 4mm GLASS FIBRE MESH.
- 3mm ISOVIT LIME (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
- 2mm REABILITA CAL AC FINO (APPLIED IN TWO PASSES)

FLOOR AREA OF SECOND FLOOR PLAN BETWEEN EXISTING EXTERNAL WALL AND INTERNAL HABITATIONAL ROOMS TO ACCOMMODATE 4 x No. LAYERS OF 100mm WOODFIBRE INSULATION BOARD WITH FIRST LAYER LAID BETWEEN AND OVER EXISTING CEILING JOISTS TIMBERS.

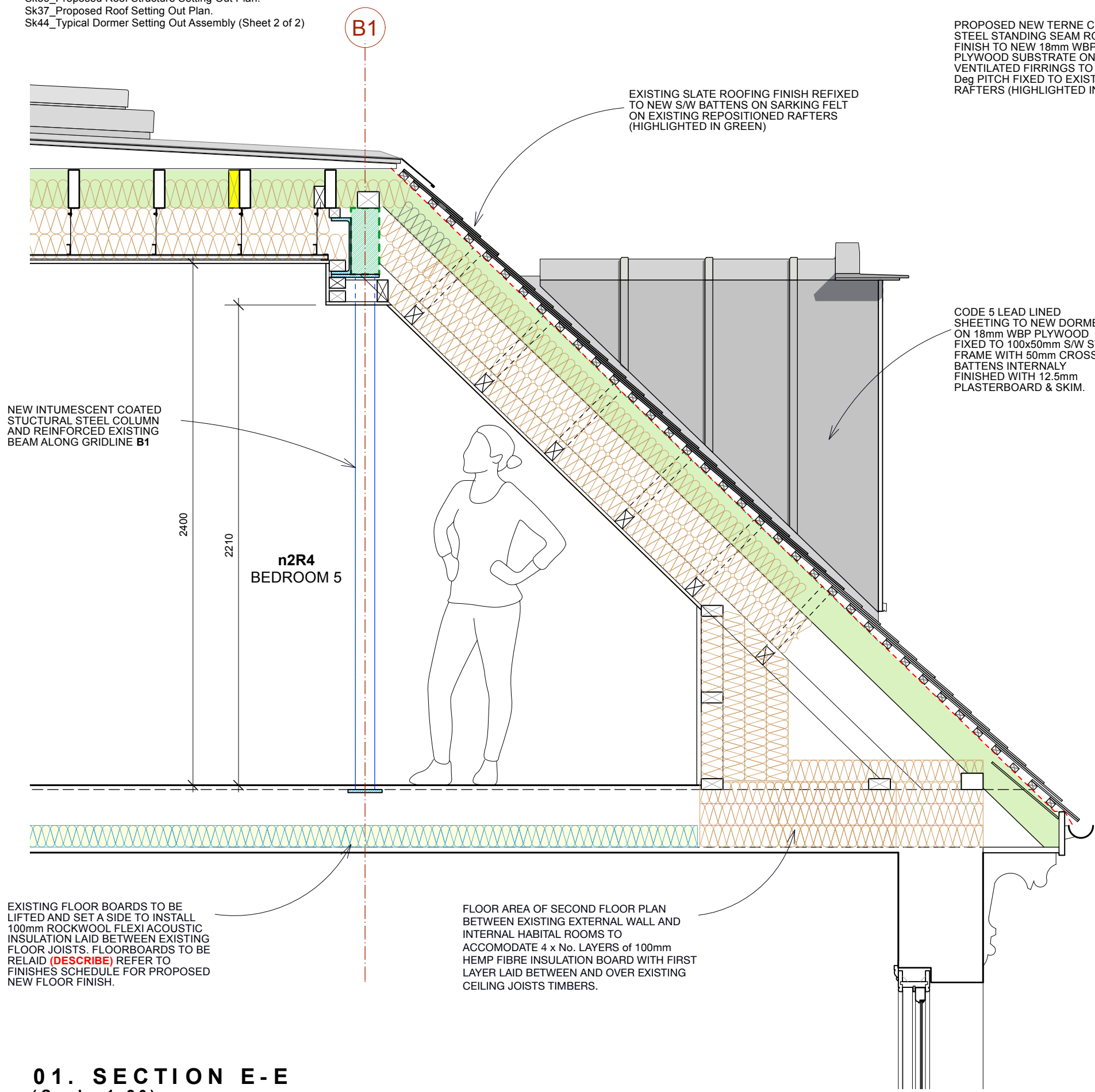
EXISTING FLOOR BOARDS TO BE LIFTED AND SET A SIDE TO INSTALL 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION LAID BETWEEN EXISTING FLOOR JOISTS. FLOORBOARDS TO BE RELAID (DESCRIBE) REFER TO FINISHES SCHEDULE FOR PROPOSED NEW FLOOR FINISH.

Rev A. Drawing updated & amended to discharge LBC/Planning conditions.

Jul 24

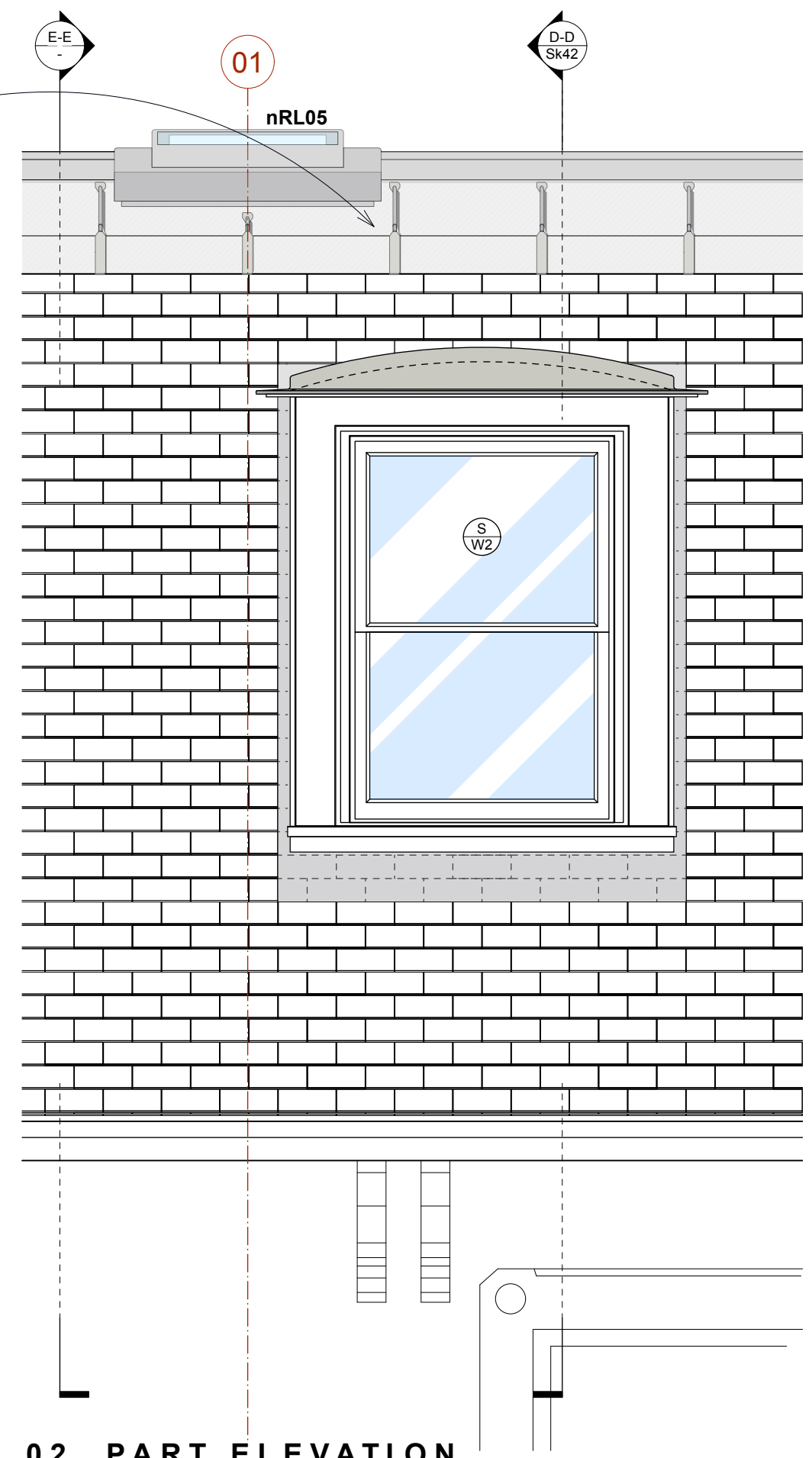
**16 St. Peters Road**  
Title: Typical Dormer Setting Out Assembly (Sheet 1 of 2)  
Drawing No: 0122823-Sk42A Scale 1:20 @ A3

**NOTES**  
 Please read with BHA drawings:  
 Sk35\_Proposed Second Floor Setting Out Plan.  
 Sk36\_Proposed Roof Structure Setting Out Plan.  
 Sk37\_Proposed Roof Setting Out Plan.  
 Sk44\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)



**01. SECTION E-E**  
 (Scale 1:20)

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**02. PART ELEVATION**  
 (Scale 1:20)

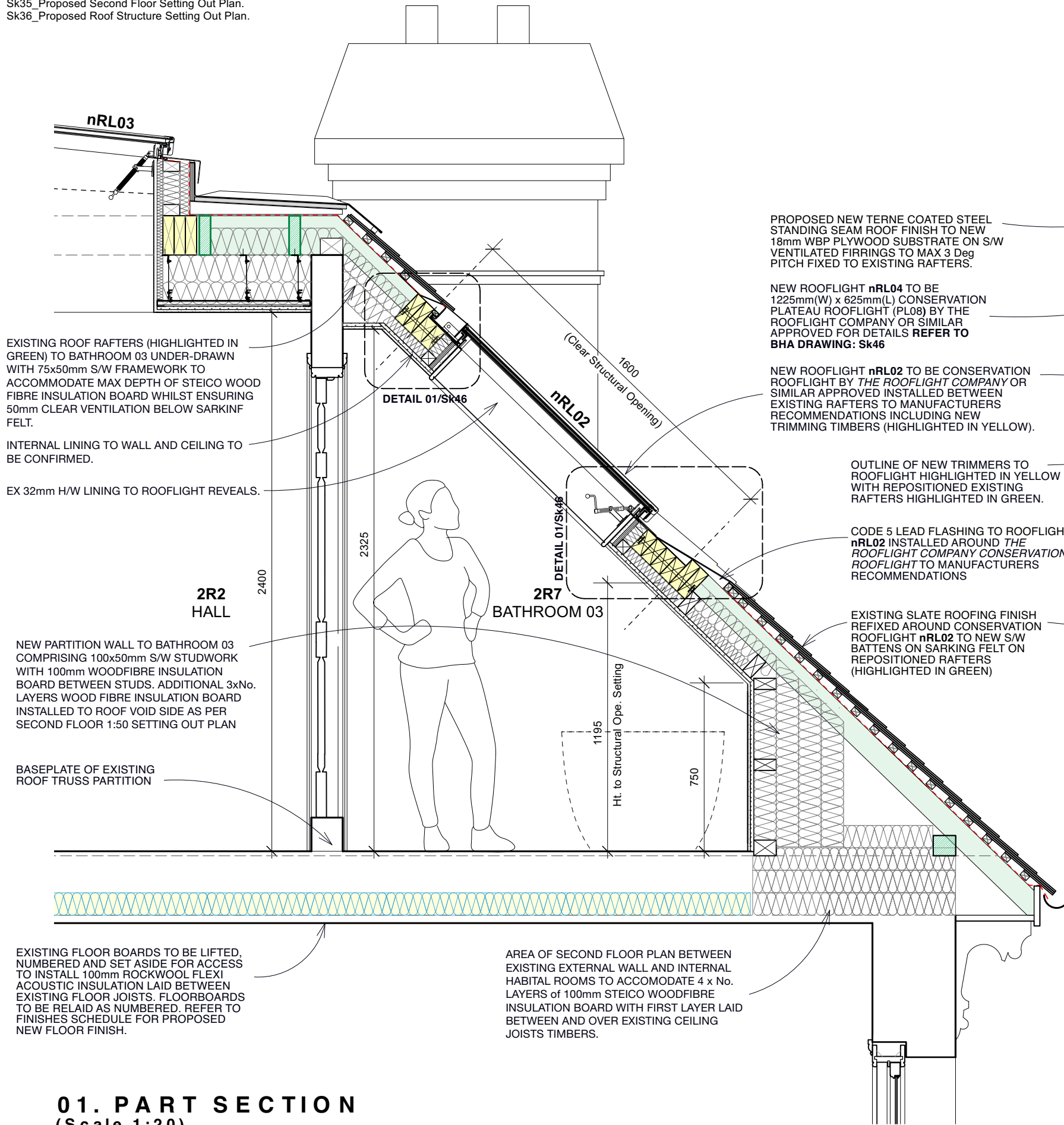
Rev A. Rooflight numbers altered

Oct 24

**16 St. Peters Road**  
 Title: Typical Dormer Setting Out Assembly (Sheet 2 of 2)  
 Drawing No: 0122823-Sk43A Scale 1:20 @ A3



**NOTES**  
 Please read with BHA drawings:  
 Sk25\_Proposed General Arrangement Second Floor Plan  
 Sk35\_Proposed Second Floor Setting Out Plan.  
 Sk36\_Proposed Roof Structure Setting Out Plan.



EXISTING ROOF RAFTERS (HIGHLIGHTED IN GREEN) TO BATHROOM 03 UNDER-DRAWN WITH 75x50mm S/W FRAMEWORK TO ACCOMMODATE MAX DEPTH OF STEICO WOOD FIBRE INSULATION BOARD WHILST ENSURING 50mm CLEAR VENTILATION BELOW SARKINF FELT.

INTERNAL LINING TO WALL AND CEILING TO BE CONFIRMED.

EX 32mm H/W LINING TO ROOFLIGHT REVEALS.

**2R2 HALL**

**2R7 BATHROOM 03**

NEW PARTITION WALL TO BATHROOM 03 COMPRISING 100x50mm S/W STUDWORK WITH 100mm WOODFIBRE INSULATION BOARD BETWEEN STUDS. ADDITIONAL 3xNo. LAYERS WOOD FIBRE INSULATION BOARD INSTALLED TO ROOF VOID SIDE AS PER SECOND FLOOR 1:50 SETTING OUT PLAN

BASEPLATE OF EXISTING ROOF TRUSS PARTITION

EXISTING FLOOR BOARDS TO BE LIFTED, NUMBERED AND SET ASIDE FOR ACCESS TO INSTALL 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION LAID BETWEEN EXISTING FLOOR JOISTS. FLOORBOARDS TO BE RELAI AS NUMBERED. REFER TO FINISHES SCHEDULE FOR PROPOSED NEW FLOOR FINISH.

AREA OF SECOND FLOOR PLAN BETWEEN EXISTING EXTERNAL WALL AND INTERNAL HABITABLE ROOMS TO ACCOMMODATE 4 x No. LAYERS OF 100mm STEICO WOODFIBRE INSULATION BOARD WITH FIRST LAYER LAID BETWEEN AND OVER EXISTING CEILING JOISTS TIMBERS.

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

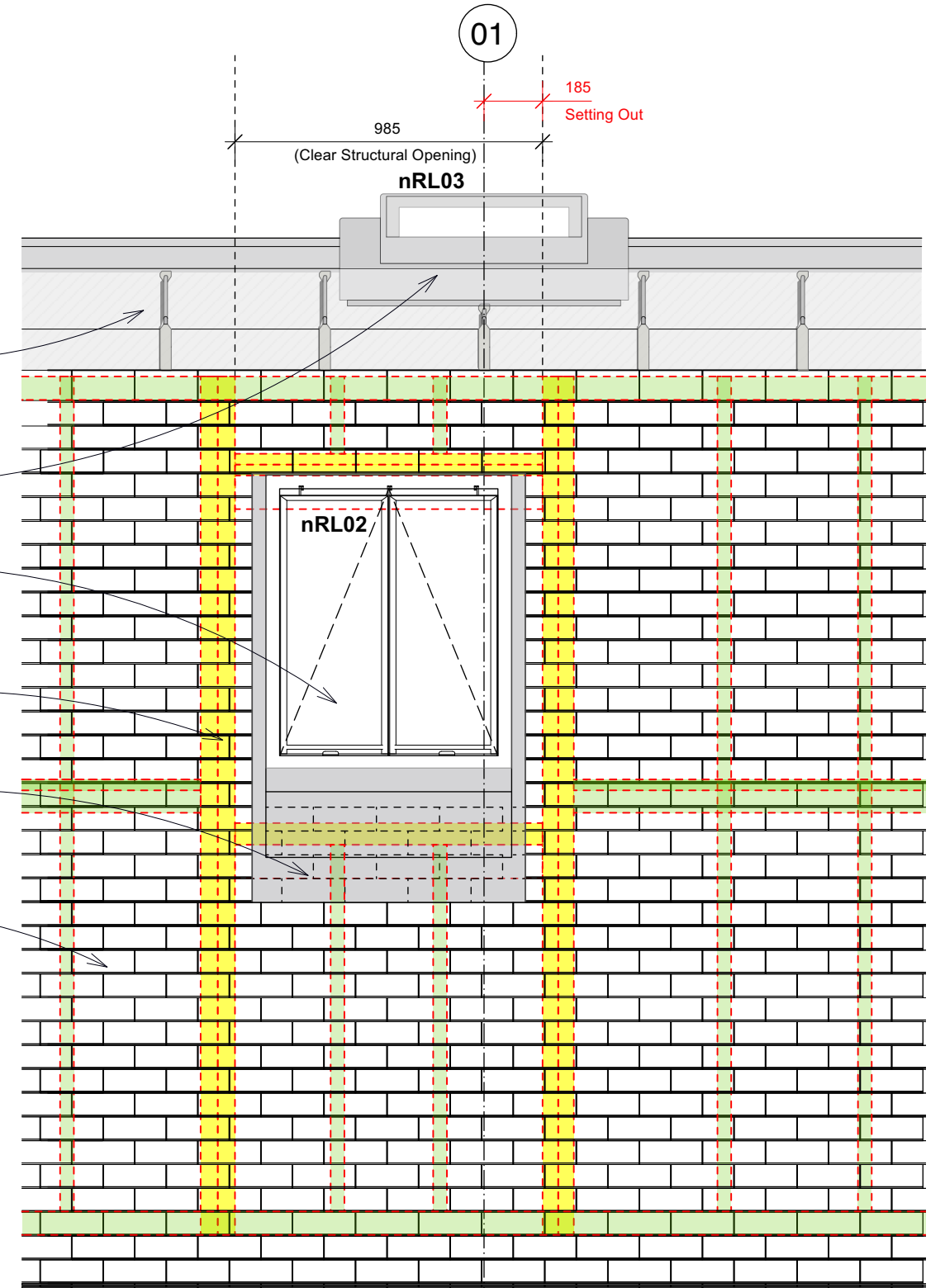
NEW ROOFLIGHT nRL04 TO BE 1225mm(W) x 625mm(L) CONSERVATION PLATEAU ROOFLIGHT (PL08) BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED FOR DETAILS REFER TO BHA DRAWING: Sk46

NEW ROOFLIGHT nRL02 TO BE CONSERVATION ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS INCLUDING NEW TRIMMING TIMBERS (HIGHLIGHTED IN YELLOW).

OUTLINE OF NEW TRIMMERS TO ROOFLIGHT HIGHLIGHTED IN YELLOW WITH REPOSITIONED EXISTING RAFTERS HIGHLIGHTED IN GREEN.

CODE 5 LEAD FLASHING TO ROOFLIGHT nRL02 INSTALLED AROUND THE ROOFLIGHT COMPANY CONSERVATION ROOFLIGHT TO MANUFACTURERS RECOMMENDATIONS

EXISTING SLATE ROOFING FINISH REFIXED AROUND CONSERVATION ROOFLIGHT nRL02 TO NEW S/W BATTENS ON SARKINF FELT ON REPOSITIONED RAFTERS (HIGHLIGHTED IN GREEN)



**02. PART ELEVATION**  
(Scale 1:20)

0 400mm 2m Scale 1:20

**DO NOT SCALE**

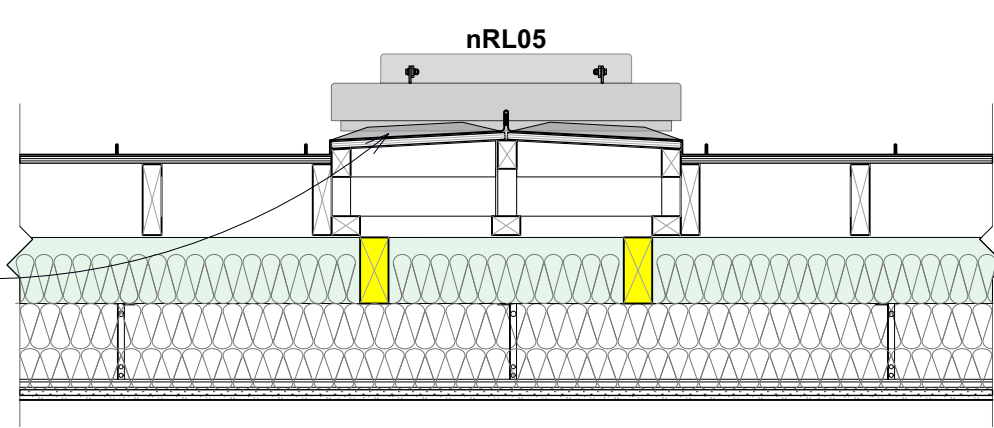
Rev A. Drawing updated & amended to discharge LBC/Planning conditions.

Jul 24

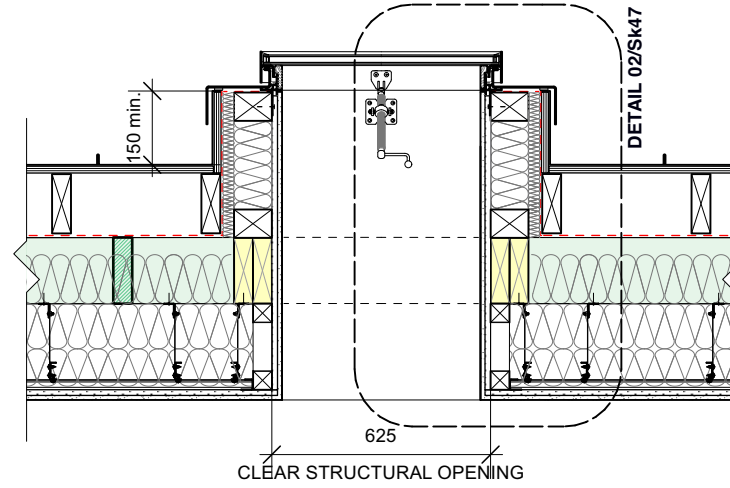


**NOTES**  
 Please read with BHA drawings:  
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 Sk35\_Proposed Second Floor Setting Out Plan.  
 Sk36\_Proposed Roof Structure Setting Out Plan.

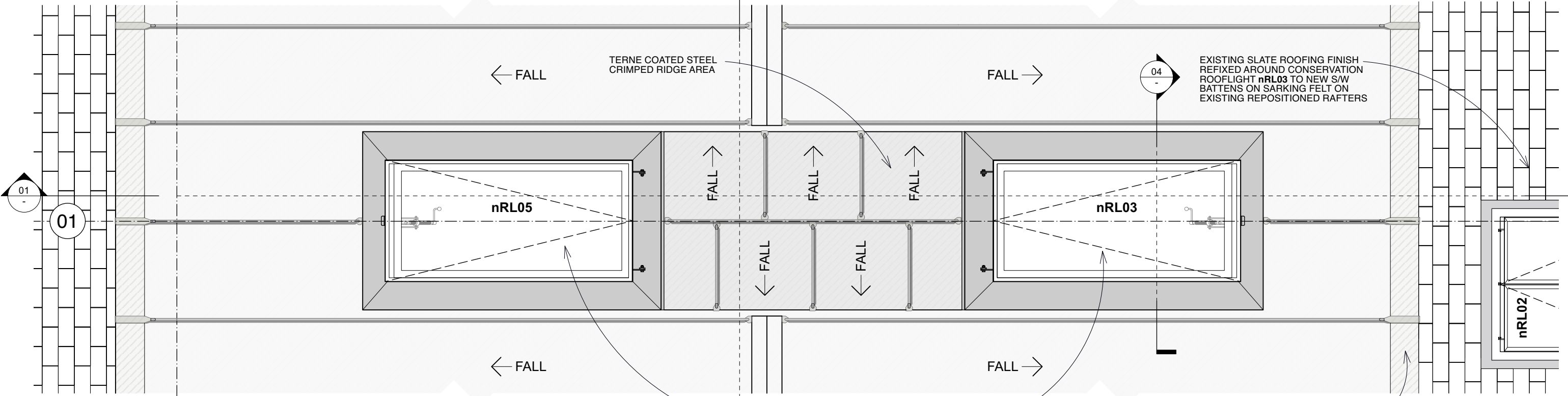
CRIMPED RIDGE AREA FORMED TO PROVIDE DRAINAGE FALLS BETWEEN ROOFLIGHTS nRL05 & nRL03 COMPRISING TERNE COATED STEEL ON 18mm WBP PLYWOOD ON S/W VENTILATED FRAMEWORK ON EXISTING ROOF TIMBERS (HIGHLIGHTED IN GREEN). STANDING SEAMS ARE NECESSARILY STAGGERED.



**03. CRIMPED RIDGE ROOF AREA DETAIL SECTION**  
 (Scale 1:20)



**04. DETAIL SECTION 04**  
 (Scale 1:20)



**02. nRL06 & nRL04 DETAIL PLAN**  
 (Scale 1:20)

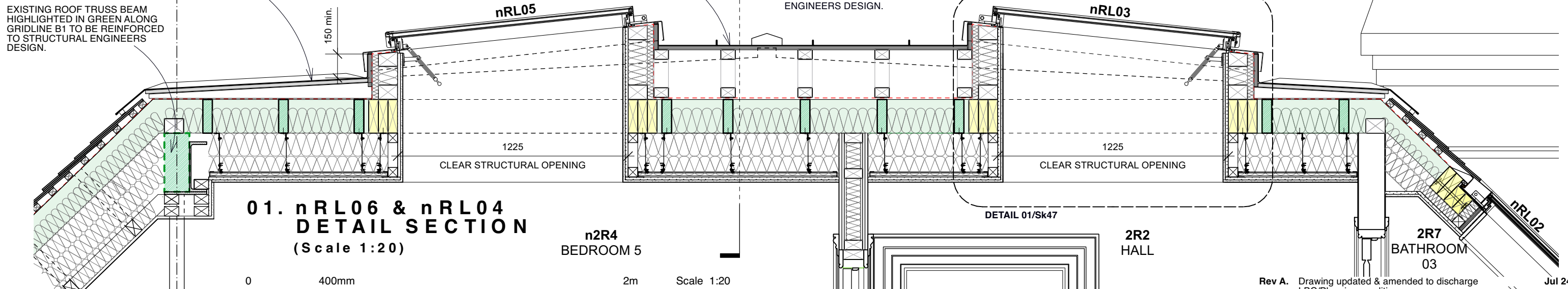
PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

EXISTING ROOF TRUSS BEAM HIGHLIGHTED IN GREEN ALONG GRIDLINE B1 TO BE REINFORCED TO STRUCTURAL ENGINEERS DESIGN.

TERNE COATED STEEL CRIMPED RIDGE AREA

1225mm (W) x 625mm (L) PL08 CONSERVATION PLATEAU ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS WITH NEW TRIMMING TIMBERS TO ENGINEERS DESIGN.

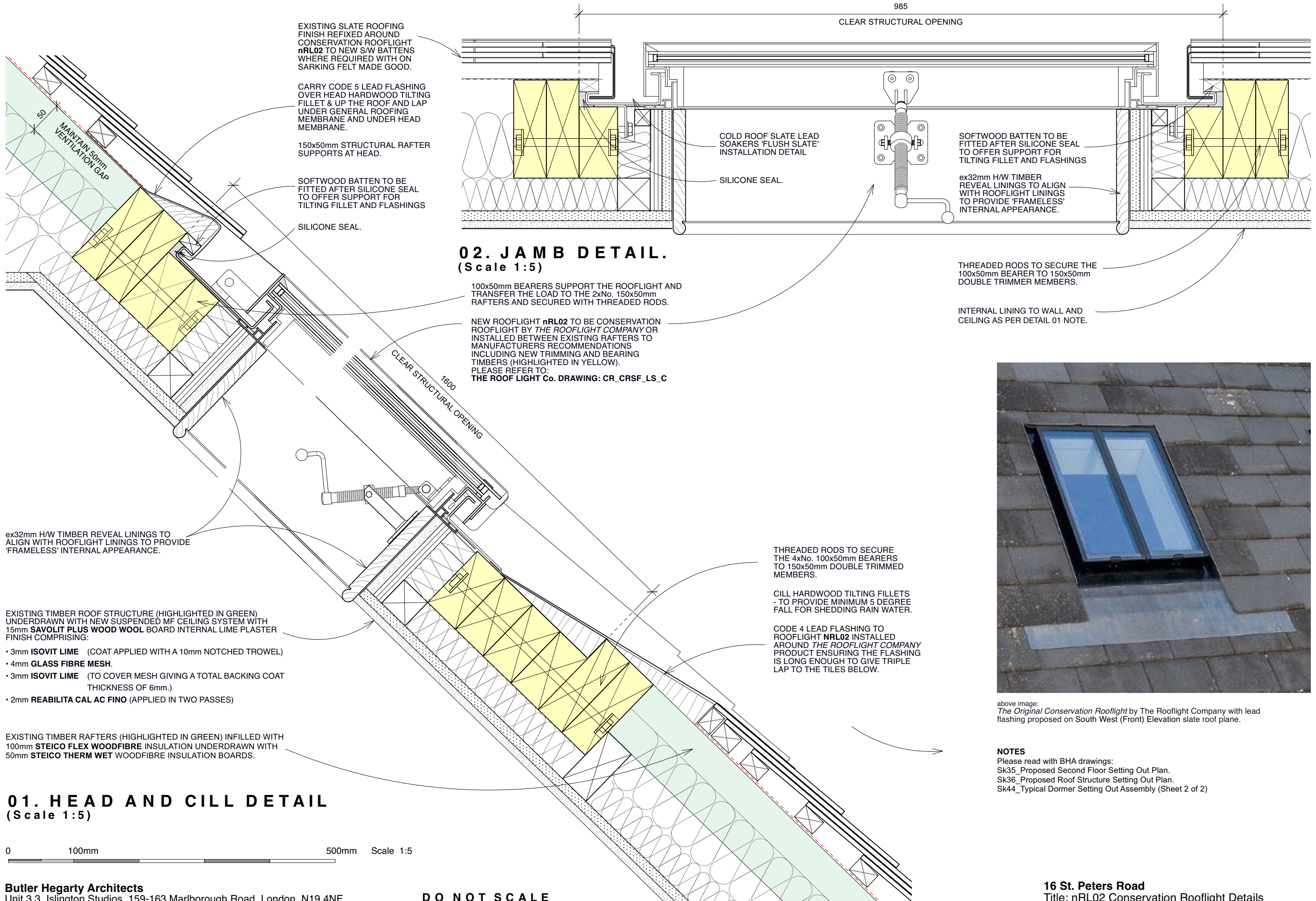
PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.



**01. nRL06 & nRL04 DETAIL SECTION**  
 (Scale 1:20)

0 400mm 2m Scale 1:20

**DO NOT SCALE**



**01. HEAD AND CILL DETAIL**  
(Scale 1:5)

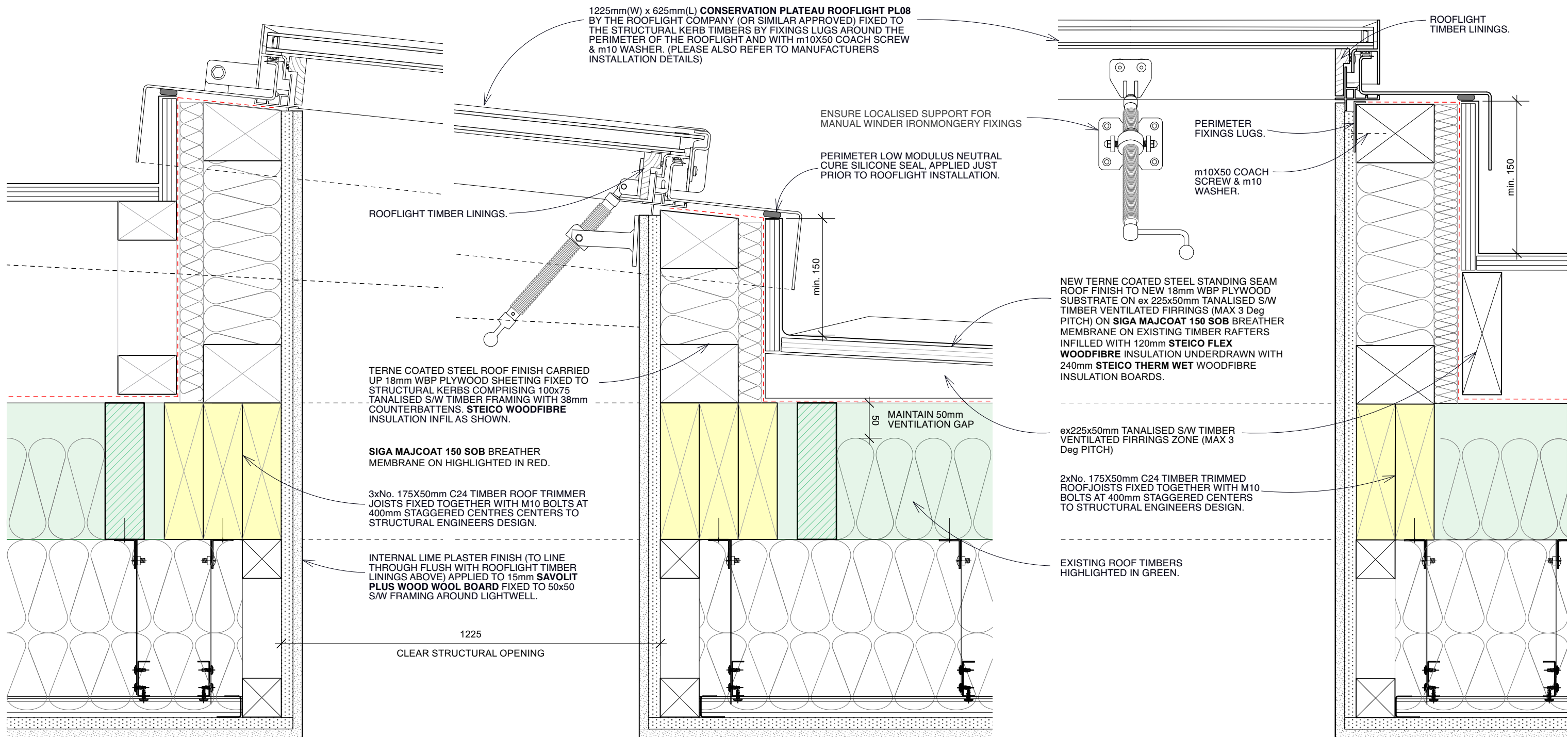
0 100mm 500mm Scale 1:5

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**DO NOT SCALE**

**NOTES**  
Please read with BHA drawings:  
Sk35\_Proposed Second Floor Setting Out Plan.  
Sk36\_Proposed Roof Structure Setting Out Plan.  
Sk44\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)

**16 St. Peters Road**  
Title: nRL02 Conservation Rooflight Details  
Drawing No: 0822522-Sk46 Scale 1:5 @ A3



## 01. HEAD AND CILL DETAIL (Scale 1:5)

0 100mm 500mm Scale 1:5

- EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm **SAVOLIT PLUS WOOD WOOL BOARD** INTERNAL LIME PLASTER FINISH COMPRISING:
- 3mm **ISOVIT LIME** (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
  - 4mm **GLASS FIBRE MESH**.
  - 3mm **ISOVIT LIME** (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
  - 2mm **REABILITA CAL AC FINO** (APPLIED IN TWO PASSES)

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**DO NOT SCALE**

## 02. SIDE RAIL DETAIL (Scale 1:5)

- NOTES**  
Please read with BHA drawings:  
Sk35\_Proposed Second Floor Setting Out Plan.  
Sk36\_Proposed Roof Structure Setting Out Plan.  
Sk45\_nRL03 & nRL05 Rooflight Detail Assembly



above image:  
The Plateau Conservation Rooflight by The Rooflight Company proposed for the existing house new rooflights (Rooflight Ref: nRL03,04,05 & 06)

**16 St. Peters Road**  
Title: Typical Plateau Conservation Rooflight Details  
Drawing No: 0822522-Sk47 Scale 1:5 @ A3