

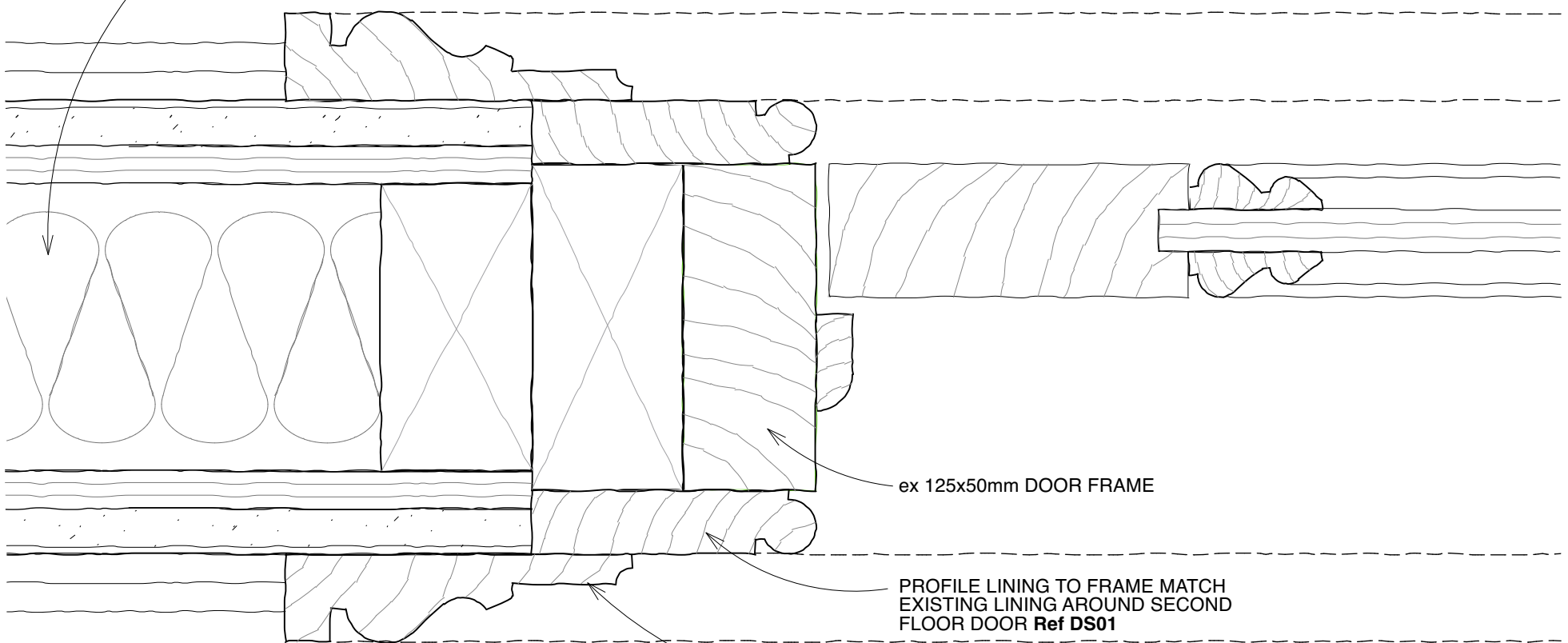
ARCHITRAVE TO MATCH EXISTING  
SECOND FLOOR ARCHITRAVE  
AROUND DOOR REF DS01

ex 32x25mm PLANTED STOP BEAD

FOUR PANELED DOOR WITH  
PROFILE MOULDINGS TOGETHER  
WITH TOP BOTTOM & SIDE RAILS  
TO MATCH EXISTING RETAINED

NEW SECOND FLOOR STUD PARTITIONS  
COMPRISING SKIM FINISH ON 12.5mm  
PLASTEBOARD WITH 12mm PLYWOOD  
PATTRESS BACKING FIXED TO 100x50mm  
S/W STUDS AT 400c/c INFILLED WITH  
ROCKWOOL ACCOUSTIC INSULATION.

**TYPICAL HEAD DETAIL B**  
1:2



ex 125x50mm DOOR FRAME

PROFILE LINING TO FRAME MATCH  
EXISTING LINING AROUND SECOND  
FLOOR DOOR Ref DS01

ARCHITRAVE TO MATCH EXISTING  
SECOND FLOOR ARCHITRAVE  
AROUND DOOR Ref DS01

**TYPICAL JAMB DETAIL A**  
1:2

**PROPOSED TYPE A (FD30) DOOR  
TYPICAL JAMB, CILL & HEAD**

To be read in conjunction with BHA Drawings:

Sk131\_Proposed 2nd Floor Door Type A nDS02.03 & 04 Details (2of2)  
Sk35\_Proposed Second Floor Setting Out Plan 1:50  
Sk918\_Location Plans For Proposed New Internal Doors

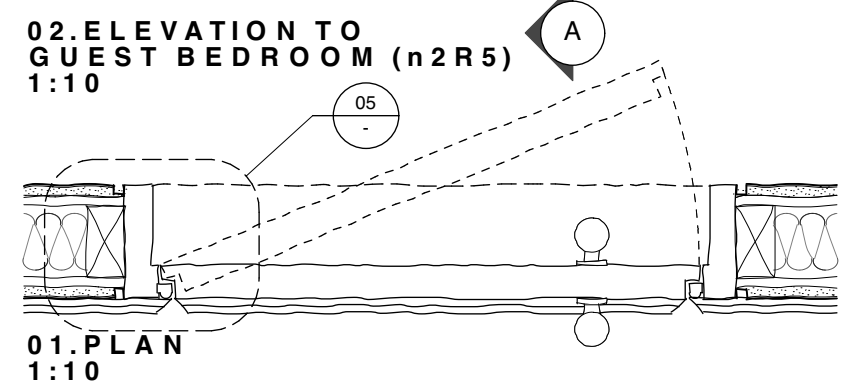
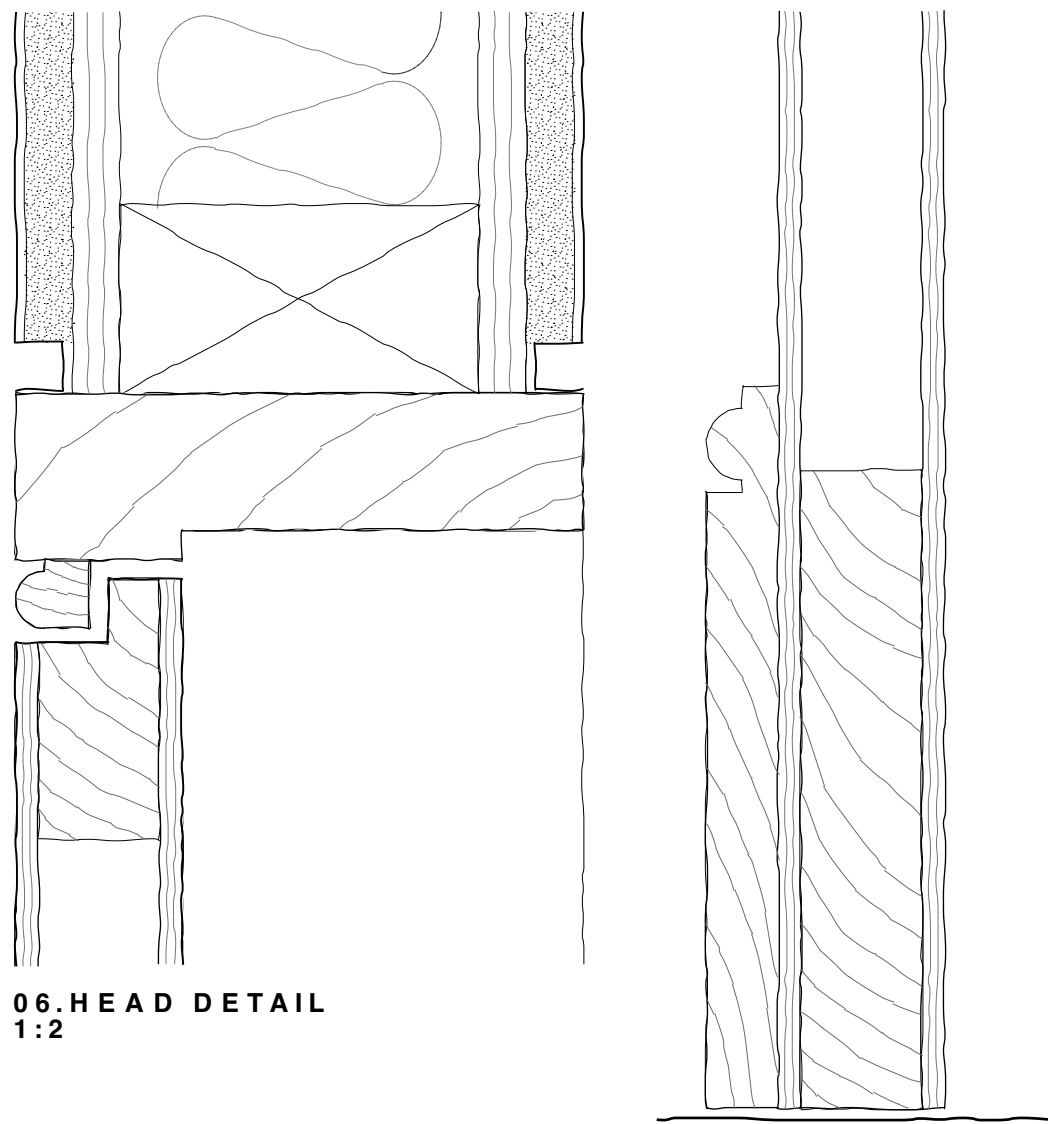
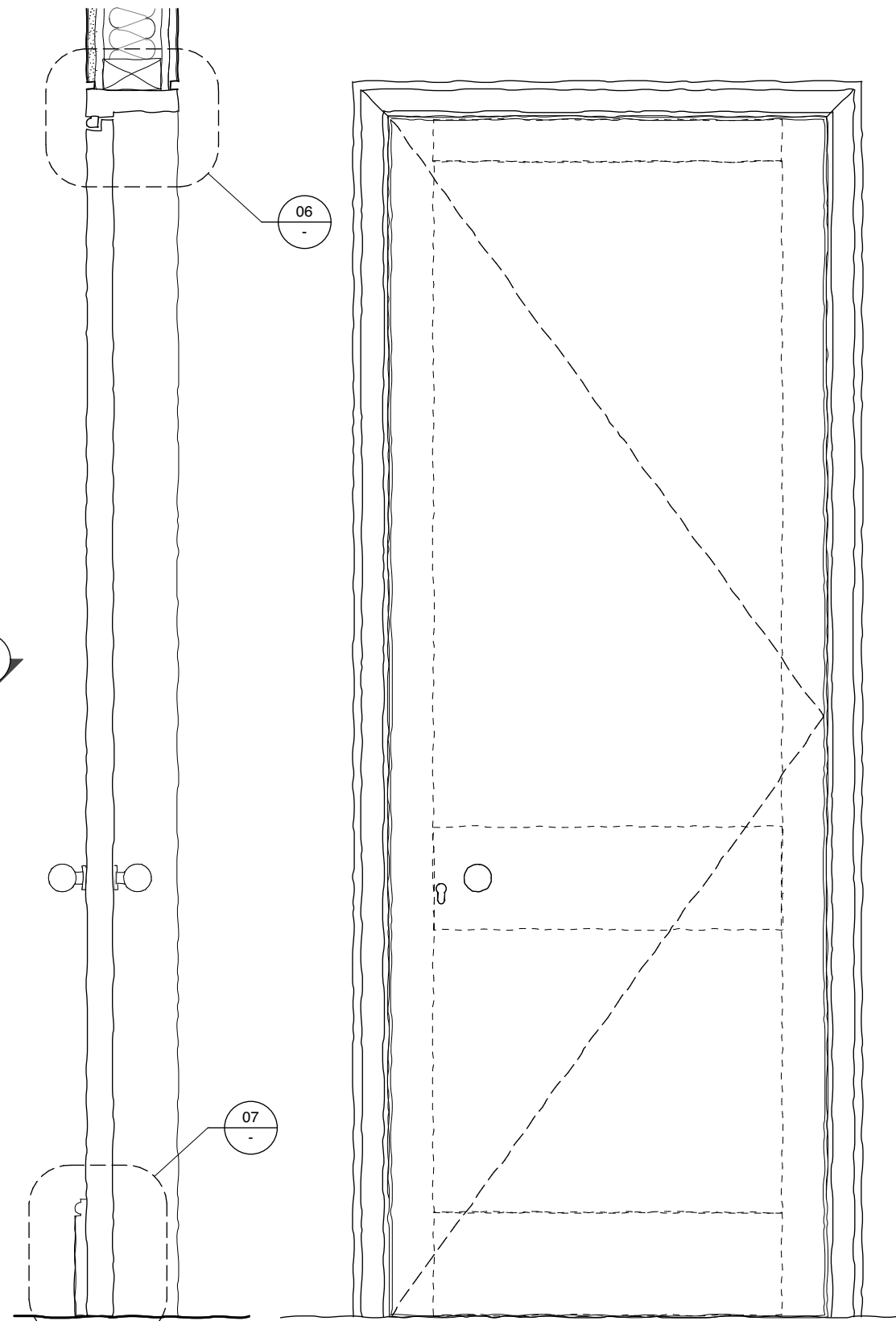
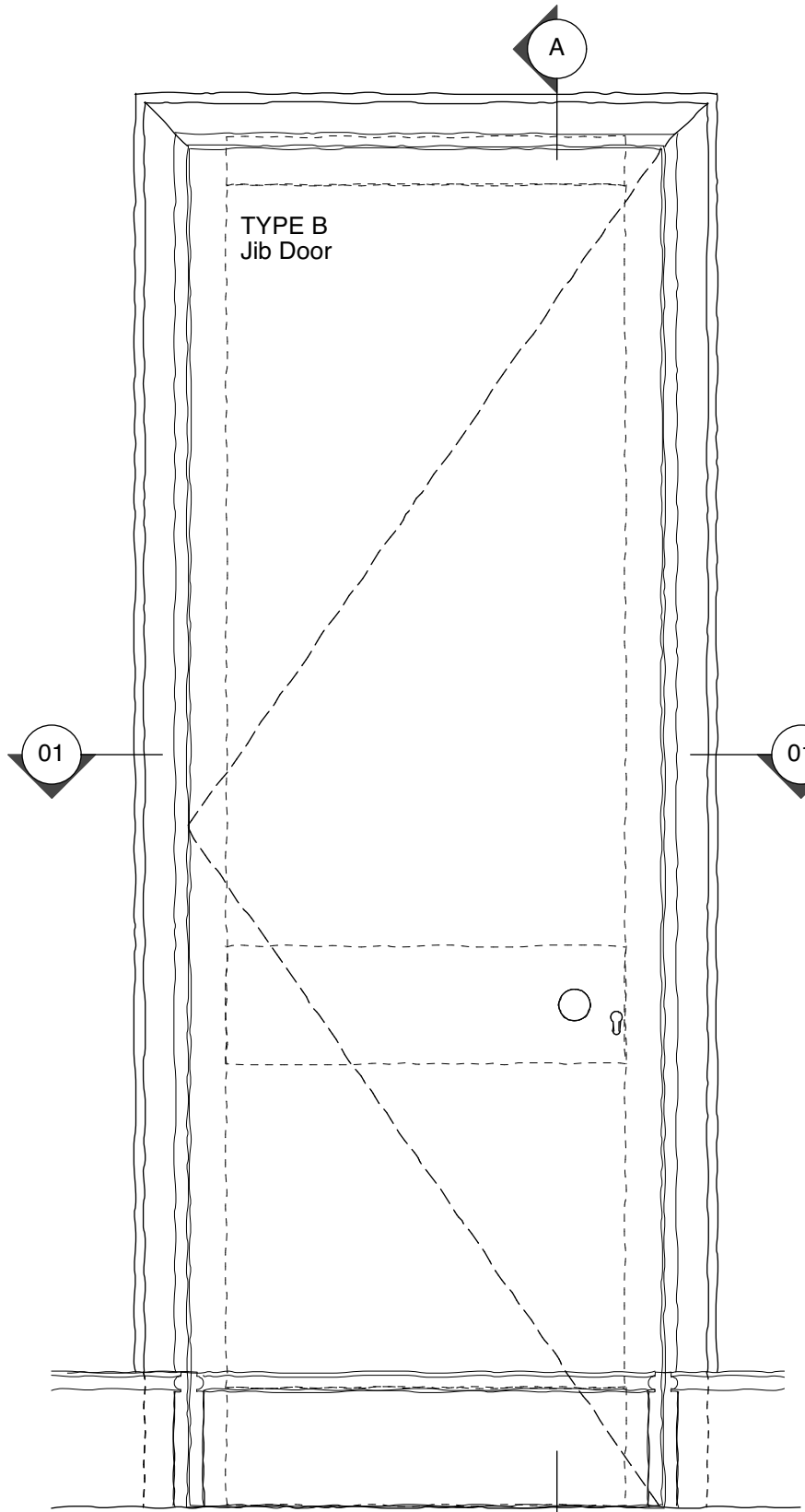
0 40mm 200mm Scale 1:2

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tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

**DO NOT SCALE**

**16 St. Peters Road**  
Title: Proposed 2nd Floor Door Type A  
nDS02,03 & 04 Details (2of2)  
Drawing No: 0122823-Sk131

Scale 1:2 @ A3

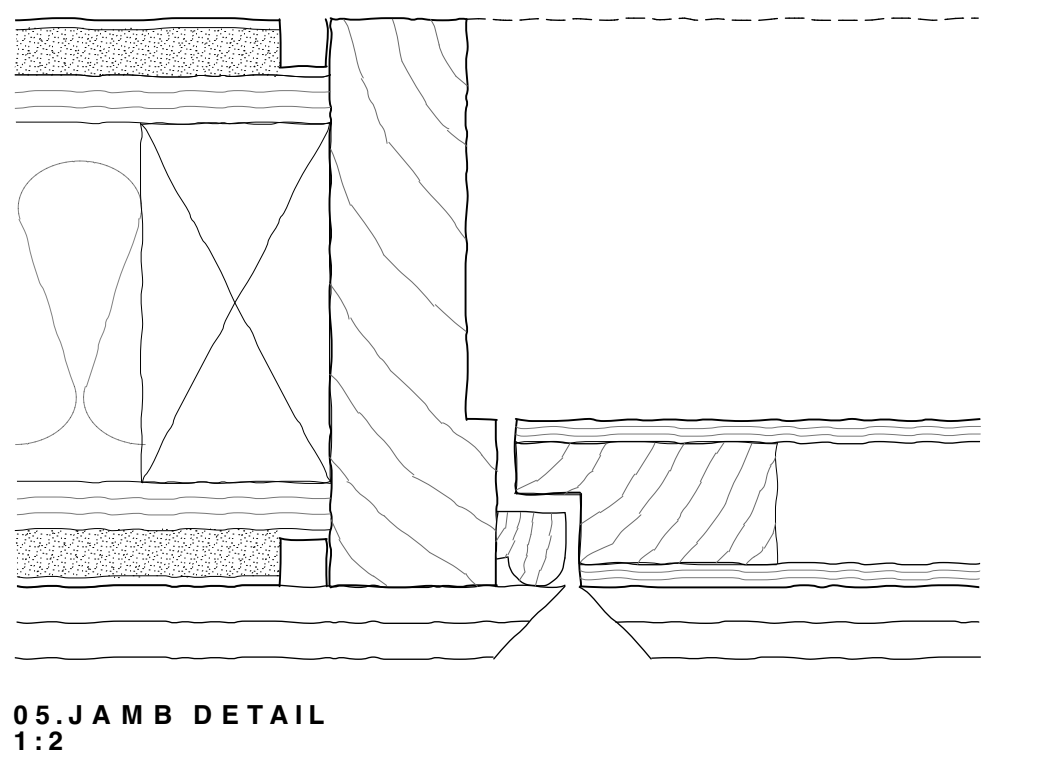


To be read in conjunction with BHA Drawings:  
 Sk35\_Proposed Second Floor Setting Out Plan 1:50  
 Sk918\_Location Plans For Proposed New Internal Doors

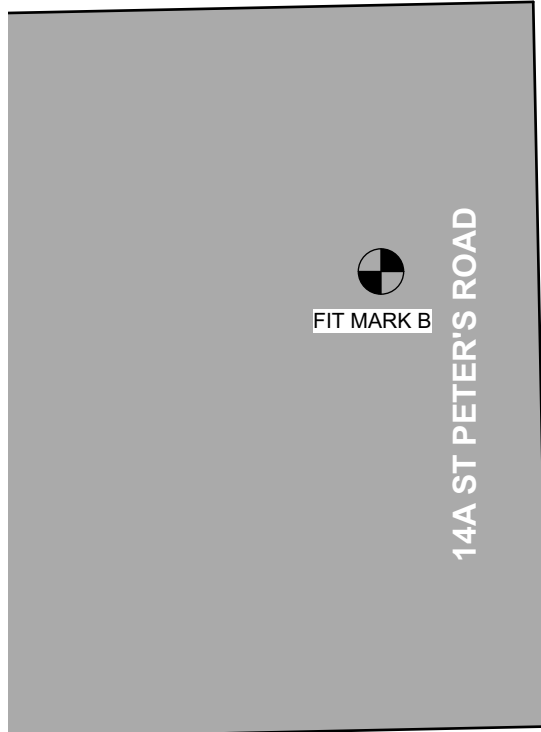
**PROPOSED TYPE B DOOR DETAILS  
 (nDS05 JIB DOOR TO n2R6 ENSUITE)**



DO NOT SCALE



NB: THIS DRAWING IS BASED ON DRAWING NO: 0582(00)06A BY DYER GRIMES ARCHITECTS. DO NOT SCALE.

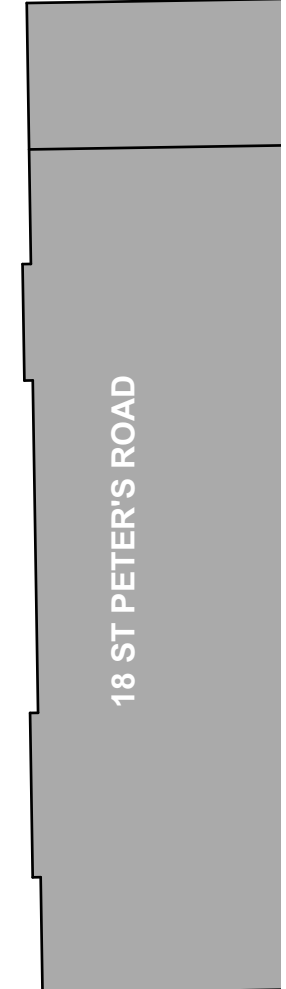
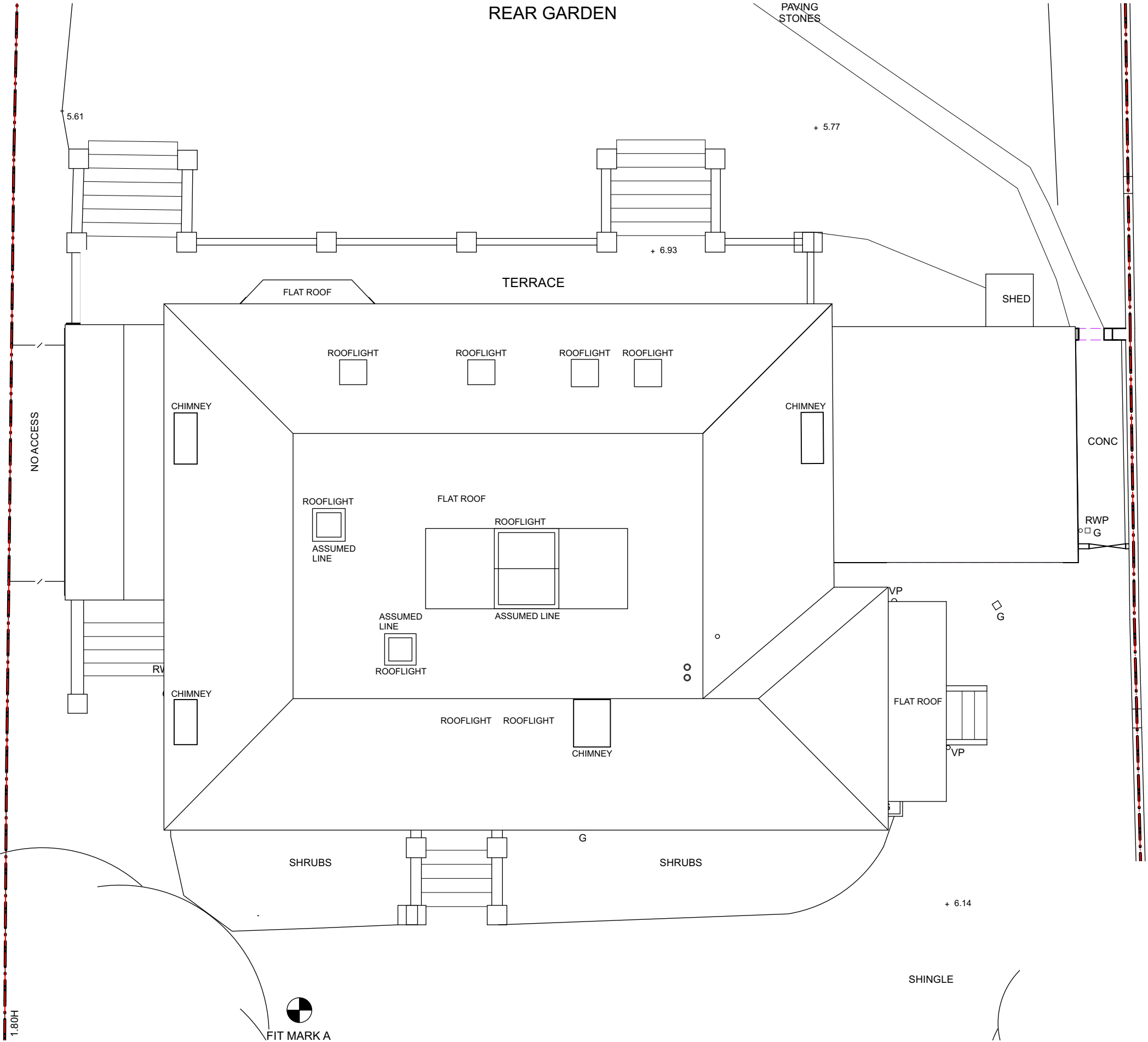


14A ST PETER'S ROAD

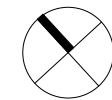
FIT MARK B

REAR GARDEN

PAVING STONES



18 ST PETER'S ROAD





**03.**  
Existing Service Vent Pipes  
(February 2023)



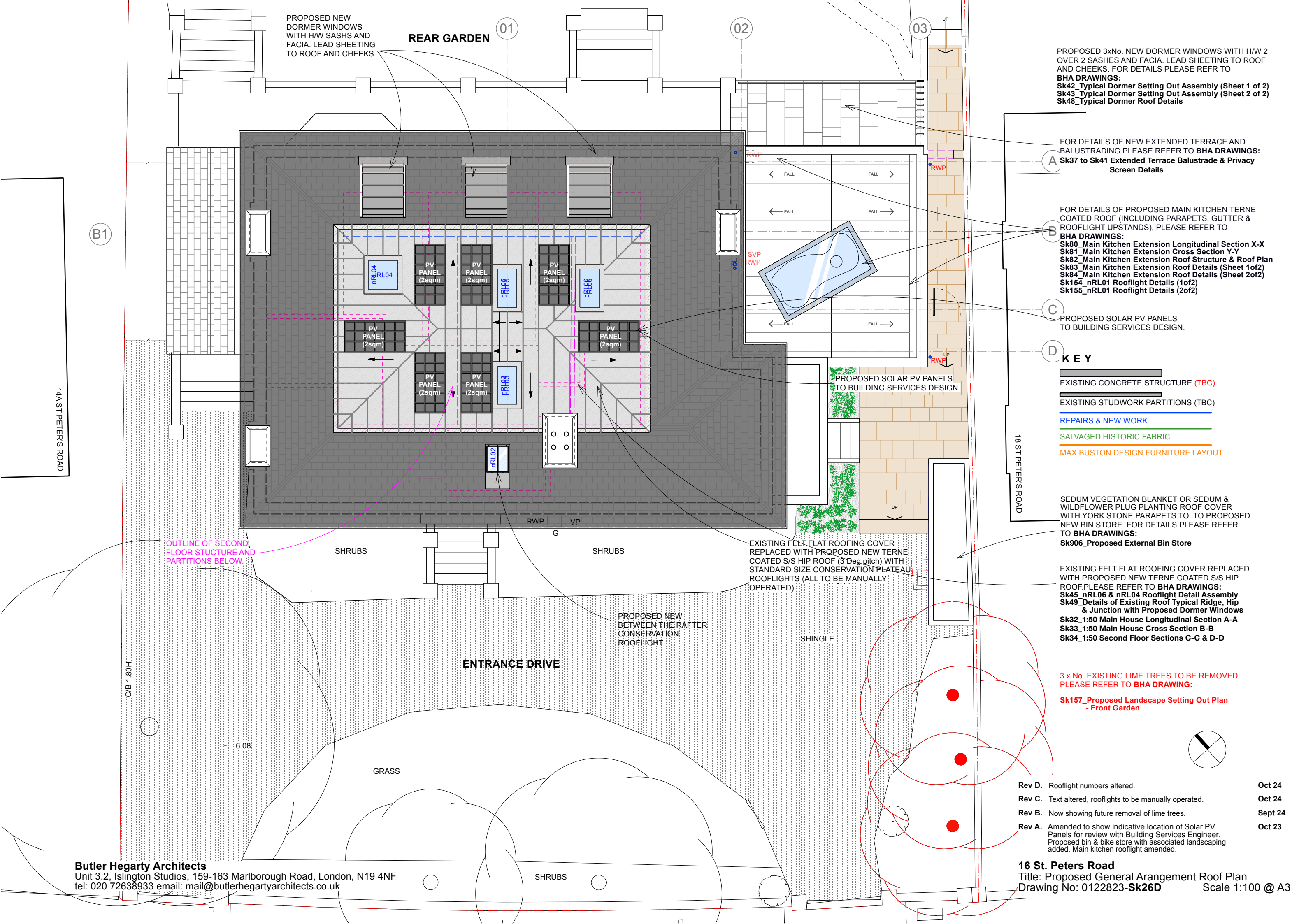
**04.**  
Existing Rear Elevation from Younique Gardens  
(February 2023)



**01.**  
Existing Roof looking towards 14a St Peters Road  
(February 2023)



**02.**  
Existing Roof looking towards 18 St Peters Road  
(February 2023)



PROPOSED NEW DORMER WINDOWS WITH H/W SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS

REAR GARDEN

01

02

03

PROPOSED 3xNo. NEW DORMER WINDOWS WITH H/W 2 OVER 2 SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS. FOR DETAILS PLEASE REFER TO  
**BHA DRAWINGS:**  
 Sk42\_Typical Dormer Setting Out Assembly (Sheet 1 of 2)  
 Sk43\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)  
 Sk48\_Typical Dormer Roof Details

FOR DETAILS OF NEW EXTENDED TERRACE AND BALUSTRADING PLEASE REFER TO **BHA DRAWINGS:**  
 Sk37 to Sk41\_Extended Terrace Balustrade & Privacy Screen Details

FOR DETAILS OF PROPOSED MAIN KITCHEN TERNE COATED ROOF (INCLUDING PARAPETS, GUTTER & ROOFLIGHT UPSTANDS), PLEASE REFER TO  
**BHA DRAWINGS:**  
 Sk80\_Main Kitchen Extension Longitudinal Section X-X  
 Sk81\_Main Kitchen Extension Cross Section Y-Y  
 Sk82\_Main Kitchen Extension Roof Structure & Roof Plan  
 Sk83\_Main Kitchen Extension Roof Details (Sheet 1of2)  
 Sk84\_Main Kitchen Extension Roof Details (Sheet 2of2)  
 Sk154\_nRL01 Rooflight Details (1of2)  
 Sk155\_nRL01 Rooflight Details (2of2)

PROPOSED SOLAR PV PANELS TO BUILDING SERVICES DESIGN.

**KEY**

- EXISTING CONCRETE STRUCTURE (TBC)
- EXISTING STUDWORK PARTITIONS (TBC)
- REPAIRS & NEW WORK
- SALVAGED HISTORIC FABRIC
- MAX BUSTON DESIGN FURNITURE LAYOUT

SEDUM VEGETATION BLANKET OR SEDUM & WILDFLOWER PLUG PLANTING ROOF COVER WITH YORK STONE PARAPETS TO TO PROPOSED NEW BIN STORE. FOR DETAILS PLEASE REFER TO **BHA DRAWINGS:**  
 Sk906\_Proposed External Bin Store

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF. PLEASE REFER TO **BHA DRAWINGS:**  
 Sk45\_nRL06 & nRL04 Rooflight Detail Assembly  
 Sk49\_Details of Existing Roof Typical Ridge, Hip & Junction with Proposed Dormer Windows  
 Sk32\_1:50 Main House Longitudinal Section A-A  
 Sk33\_1:50 Main House Cross Section B-B  
 Sk34\_1:50 Second Floor Sections C-C & D-D

3 x No. EXISTING LIME TREES TO BE REMOVED. PLEASE REFER TO **BHA DRAWING:**  
 Sk157\_Proposed Landscape Setting Out Plan - Front Garden

- Rev D. Rooflight numbers altered. Oct 24
- Rev C. Text altered, rooflights to be manually operated. Oct 24
- Rev B. Now showing future removal of lime trees. Sept 24
- Rev A. Amended to show indicative location of Solar PV Panels for review with Building Services Engineer. Proposed bin & bike store with associated landscaping added. Main kitchen rooflight amended. Oct 23

**16 St. Peters Road**  
 Title: Proposed General Arrangement Roof Plan  
 Drawing No: 0122823-Sk26D Scale 1:100 @ A3

**Butler Hegarty Architects**  
 Unit 3.2, Islington Studios, 159-163 Marlborough Road, London, N19 4NF  
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

14A ST PETERS ROAD

18 ST PETERS ROAD

OUTLINE OF SECOND FLOOR STRUCTURE AND PARTITIONS BELOW:

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF (3° Deg pitch) WITH STANDARD SIZE CONSERVATION PLATEAU ROOFLIGHTS (ALL TO BE MANUALLY OPERATED)

PROPOSED NEW BETWEEN THE RAFTER CONSERVATION ROOFLIGHT

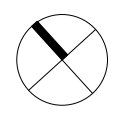
SHINGLE

ENTRANCE DRIVE

GRASS

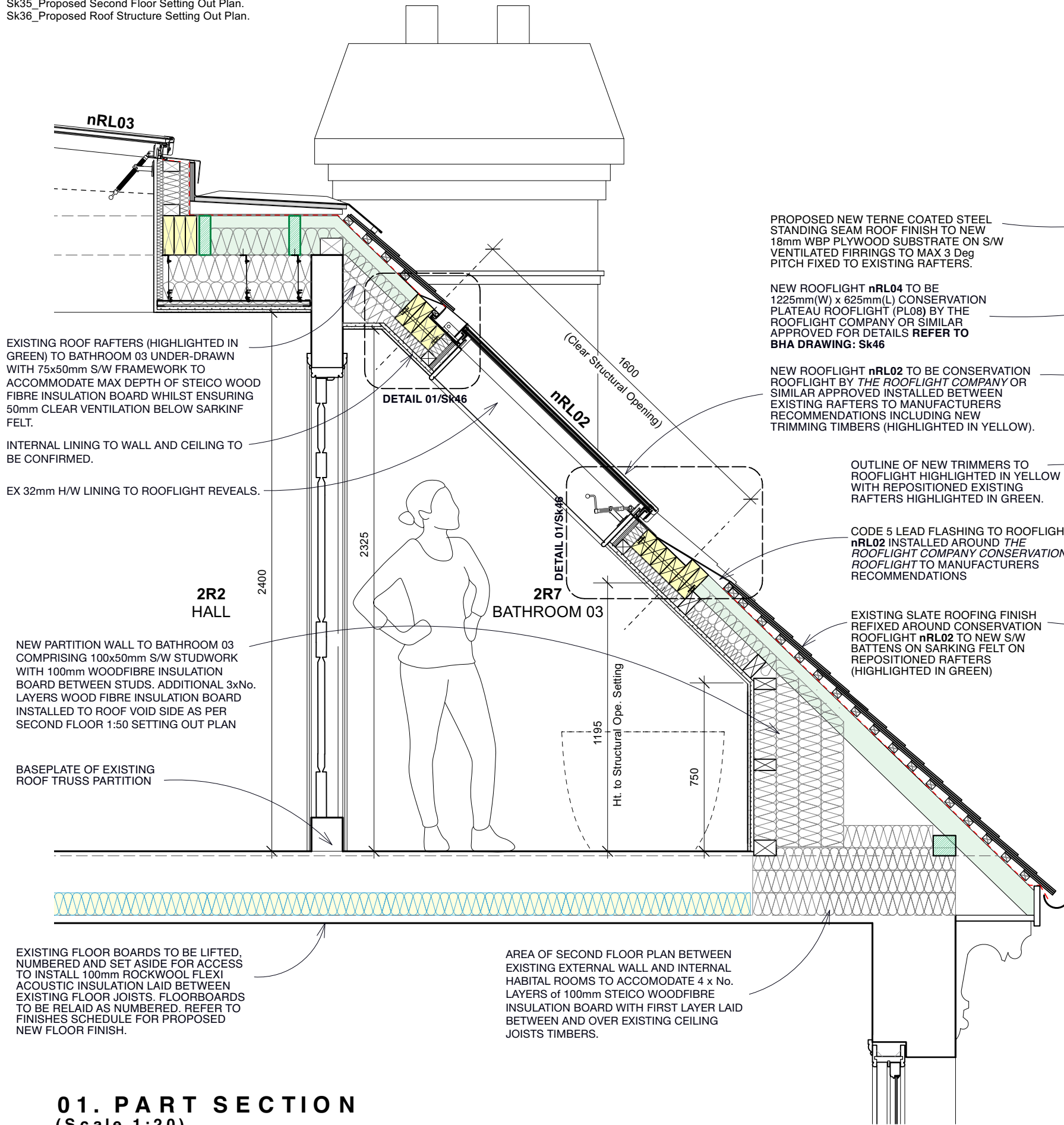
SHRUBS

+ 6.08





**NOTES**  
 Please read with BHA drawings:  
 Sk25\_Proposed General Arrangement Second Floor Plan  
 Sk35\_Proposed Second Floor Setting Out Plan.  
 Sk36\_Proposed Roof Structure Setting Out Plan.



EXISTING ROOF RAFTERS (HIGHLIGHTED IN GREEN) TO BATHROOM 03 UNDER-DRAWN WITH 75x50mm S/W FRAMEWORK TO ACCOMMODATE MAX DEPTH OF STEICO WOOD FIBRE INSULATION BOARD WHILST ENSURING 50mm CLEAR VENTILATION BELOW SARKINF FELT.

INTERNAL LINING TO WALL AND CEILING TO BE CONFIRMED.

EX 32mm H/W LINING TO ROOFLIGHT REVEALS.

**2R2 HALL**

2400

2325

**2R7 BATHROOM 03**

DETAIL 01/Sk46

Ht. to Structural Ope. Setting

750

BASEPLATE OF EXISTING ROOF TRUSS PARTITION

EXISTING FLOOR BOARDS TO BE LIFTED, NUMBERED AND SET ASIDE FOR ACCESS TO INSTALL 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION LAID BETWEEN EXISTING FLOOR JOISTS. FLOORBOARDS TO BE RELAID AS NUMBERED. REFER TO FINISHES SCHEDULE FOR PROPOSED NEW FLOOR FINISH.

AREA OF SECOND FLOOR PLAN BETWEEN EXISTING EXTERNAL WALL AND INTERNAL HABITABLE ROOMS TO ACCOMMODATE 4 x No. LAYERS OF 100mm STEICO WOODFIBRE INSULATION BOARD WITH FIRST LAYER LAID BETWEEN AND OVER EXISTING CEILING JOISTS TIMBERS.

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

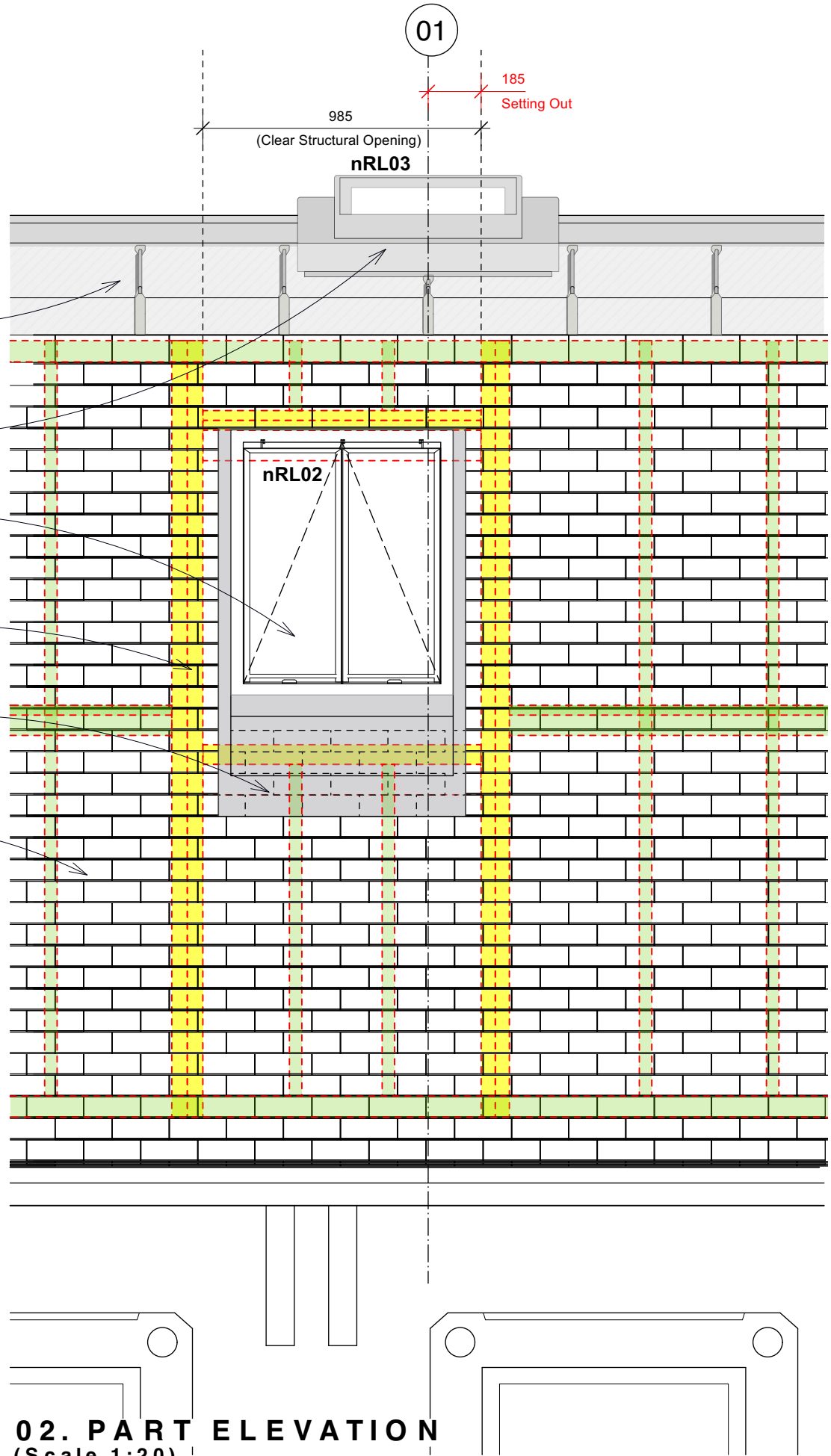
NEW ROOFLIGHT nRL04 TO BE 1225mm(W) x 625mm(L) CONSERVATION PLATEAU ROOFLIGHT (PL08) BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED FOR DETAILS REFER TO BHA DRAWING: Sk46

NEW ROOFLIGHT nRL02 TO BE CONSERVATION ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS INCLUDING NEW TRIMMING TIMBERS (HIGHLIGHTED IN YELLOW).

OUTLINE OF NEW TRIMMERS TO ROOFLIGHT HIGHLIGHTED IN YELLOW WITH REPOSITIONED EXISTING RAFTERS HIGHLIGHTED IN GREEN.

CODE 5 LEAD FLASHING TO ROOFLIGHT nRL02 INSTALLED AROUND THE ROOFLIGHT COMPANY CONSERVATION ROOFLIGHT TO MANUFACTURERS RECOMMENDATIONS

EXISTING SLATE ROOFING FINISH REFIXED AROUND CONSERVATION ROOFLIGHT nRL02 TO NEW S/W BATTENS ON SARKINF FELT ON REPOSITIONED RAFTERS (HIGHLIGHTED IN GREEN)



**02. PART ELEVATION**  
 (Scale 1:20)

0 400mm 2m Scale 1:20

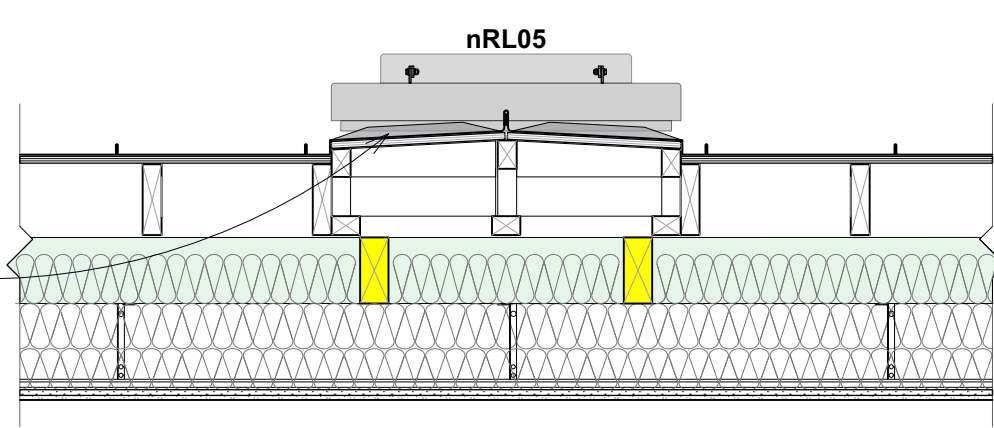
DO NOT SCALE

Rev A. Drawing updated & amended to discharge LBC/Planning conditions.

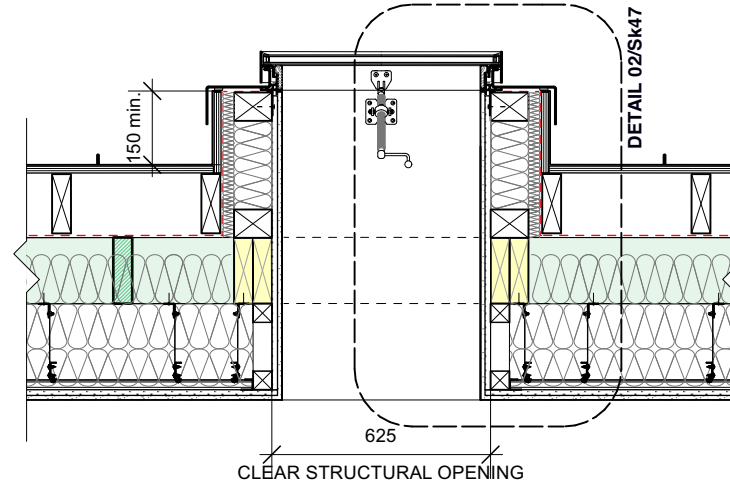
Jul 24

**NOTES**  
 Please read with BHA drawings:  
 Sk25\_Proposed General Arrangement Second Floor Plan  
 Sk35\_Proposed Second Floor Setting Out Plan.  
 Sk36\_Proposed Roof Structure Setting Out Plan.

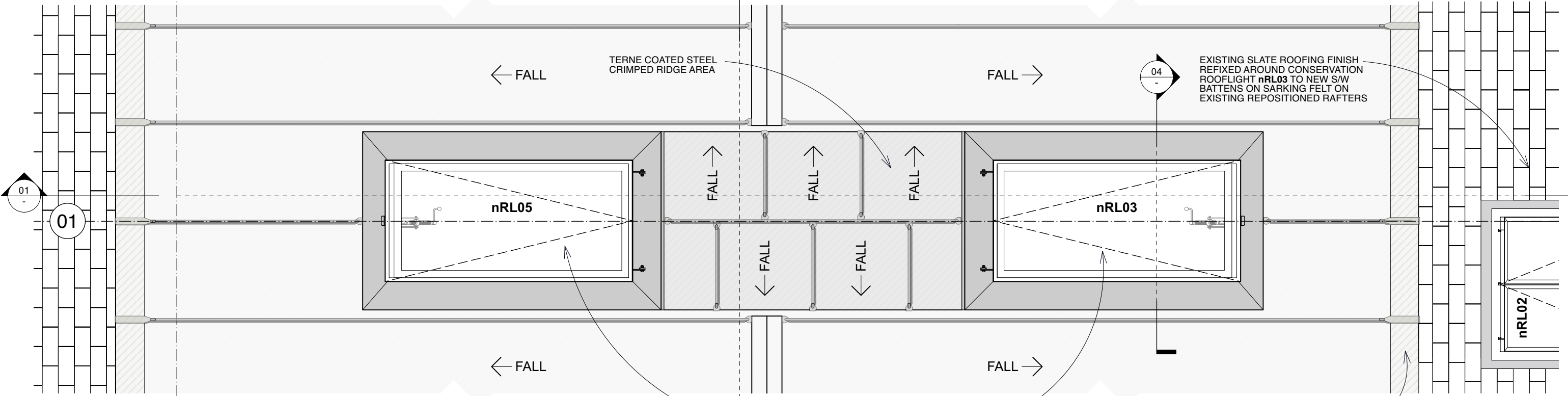
CRIMPED RIDGE AREA FORMED TO PROVIDE DRAINAGE FALLS BETWEEN ROOFLIGHTS nRL05 & nRL03 COMPRISING TERNE COATED STEEL ON 18mm WBP PLYWOOD ON S/W VENTILATED FRAMEWORK ON EXISTING ROOF TIMBERS (HIGHLIGHTED IN GREEN). STANDING SEAMS ARE NECESSARILY STAGGERED.



**03. CRIMPED RIDGE ROOF AREA DETAIL SECTION**  
 (Scale 1:20)



**04. DETAIL SECTION 04**  
 (Scale 1:20)



**02. nRL06 & nRL04 DETAIL PLAN**  
 (Scale 1:20)

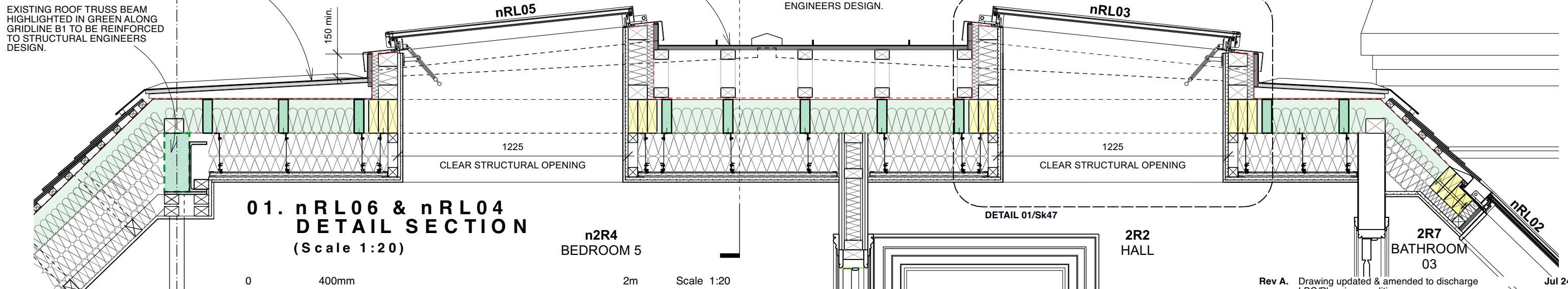
PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

EXISTING ROOF TRUSS BEAM HIGHLIGHTED IN GREEN ALONG GRIDLINE B1 TO BE REINFORCED TO STRUCTURAL ENGINEERS DESIGN.

TERNE COATED STEEL CRIMPED RIDGE AREA

1225mm (W) x 625mm (L) PL08 CONSERVATION PLATEAU ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS WITH NEW TRIMMING TIMBERS TO ENGINEERS DESIGN.

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.



**01. nRL06 & nRL04 DETAIL SECTION**  
 (Scale 1:20)

0 400mm 2m Scale 1:20

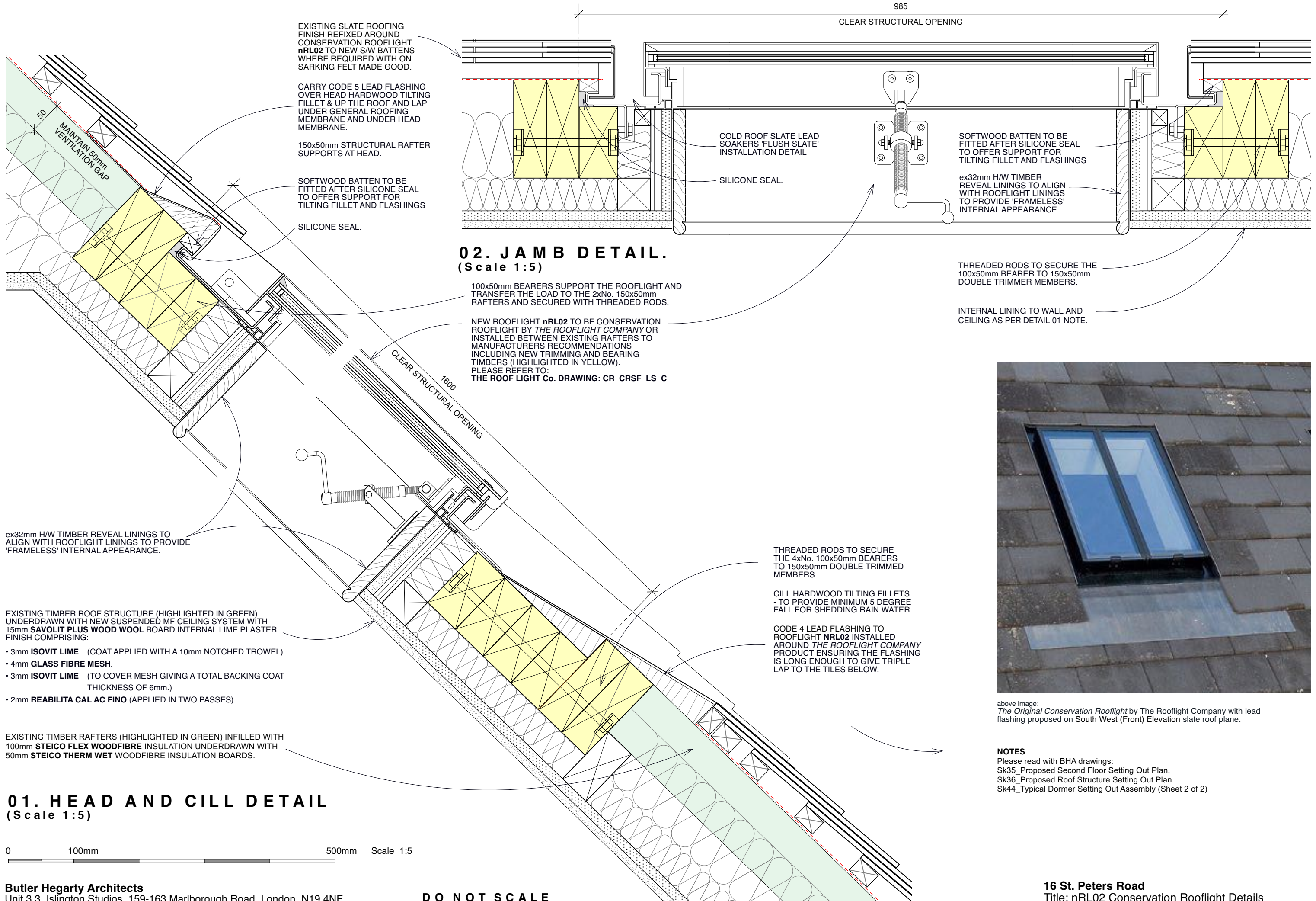
DO NOT SCALE

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 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

Rev A. Drawing updated & amended to discharge LBC/Planning conditions. Jul 24

**16 St. Peters Road**  
 Title: nRL03 & nRL05 Rooflight Detail Assembly  
 Drawing No: 0122823-Sk45A Scale 1:20 @ A3





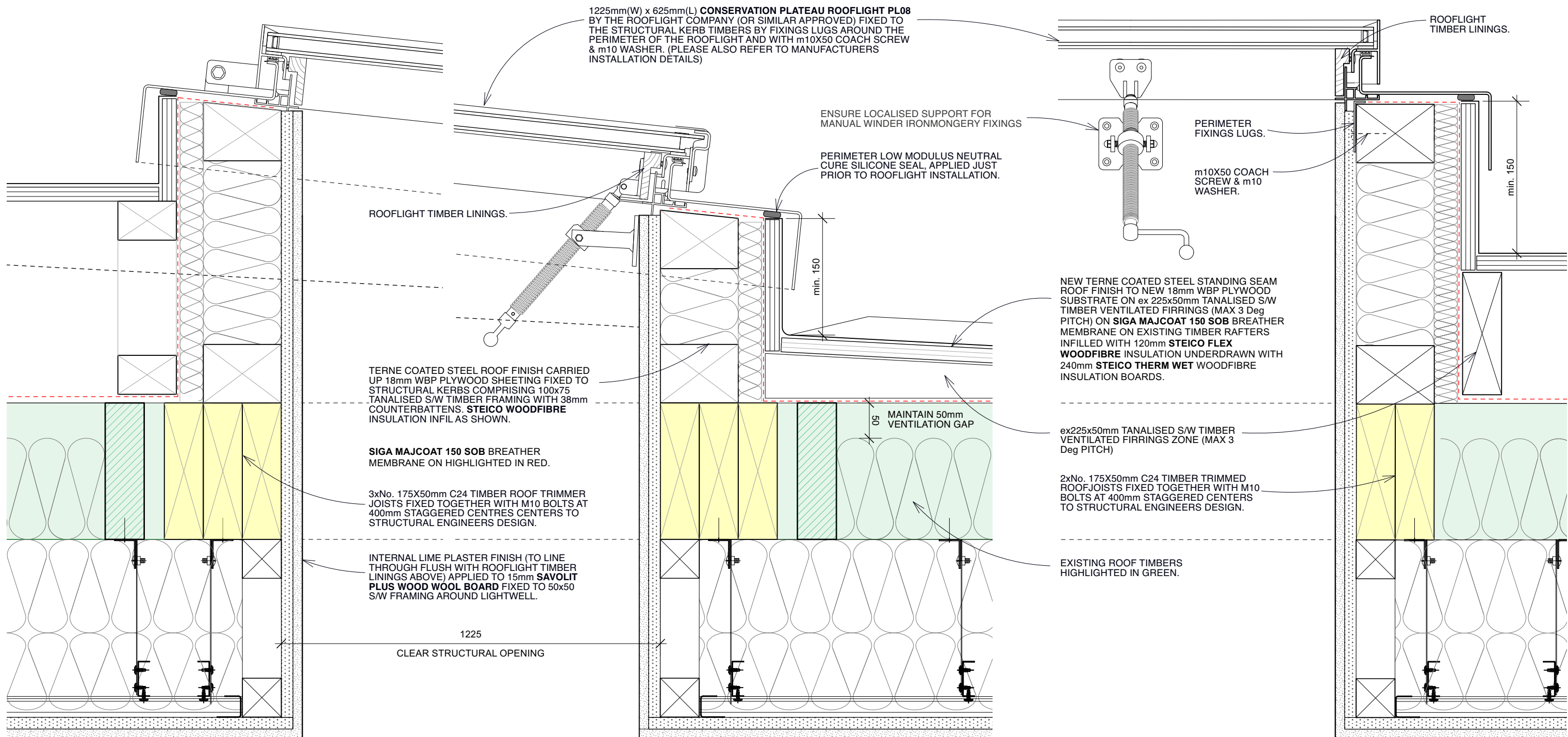
above image:  
The Original Conservation Rooflight by The Rooflight Company with lead flashing proposed on South West (Front) Elevation slate roof plane.

**NOTES**  
Please read with BHA drawings:  
Sk35\_Proposed Second Floor Setting Out Plan.  
Sk36\_Proposed Roof Structure Setting Out Plan.  
Sk44\_Typical Dormer Setting Out Assembly (Sheet 2 of 2)

**01. HEAD AND CILL DETAIL**  
(Scale 1:5)

0 100mm 500mm Scale 1:5

**DO NOT SCALE**



## 01. HEAD AND CILL DETAIL (Scale 1:5)

0 100mm 500mm Scale 1:5

- EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm **SAVOLIT PLUS WOOD WOOL BOARD** INTERNAL LIME PLASTER FINISH COMPRISING:
- 3mm **ISOVIT LIME** (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
  - 4mm **GLASS FIBRE MESH**.
  - 3mm **ISOVIT LIME** (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
  - 2mm **REABILITA CAL AC FINO** (APPLIED IN TWO PASSES)

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tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

**DO NOT SCALE**

## 02. SIDE RAIL DETAIL (Scale 1:5)



above image:  
*The Plateau Conservation Rooflight* by The Rooflight Company proposed for the existing house new rooflights (Rooflight Ref: nRL03,04,05 & 06)

- NOTES**  
Please read with BHA drawings:  
Sk35\_Proposed Second Floor Setting Out Plan.  
Sk36\_Proposed Roof Structure Setting Out Plan.  
Sk45\_nRL03 & nRL05 Rooflight Detail Assembly

**16 St. Peters Road**  
Title: Typical Plateau Conservation Rooflight Details  
Drawing No: 0822522-Sk47 Scale 1:5 @ A3