

16 St Peter's Road

Condition Discharge

**REFERING TO APPLICATION 22/1754/HOT
DECISION NOTICE 1 SEPTEMBER 2022**

**DETAILED APPLICATION:
U0136967**

Materials

Prior to the commencement of the development, details, and samples of the materials to be used in the external construction of the works hereby approved, including the proposed extension, dormers roof materials and fenestration shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details and retained as such thereafter.

REASON

In order to safeguard the special architectural or historic interest of the grade II listed building and character of the Conservation Area.

Condition Discharge Statement:

The proposed external materials are as follows:

Dormer windows: The dormer roof materials are lead lining to roof and dormer checks with painted timber box sash windows as shown on drawing Sk919 (material palette 01/04). The construction details of the dormer windows are as shown on drawings Sk42 and Sk43.

The roof light: To the main roof of the building are to be plateau conservation roof lights on tern coated stainless steel. The roof light in slate pitched roof will be CI low profile conservation roof light with lead flashings, all as shown on drawing SK920 (material palette 02/04). The construction detail for roof lights is as shown on drawings Sk44, Sk45, Sk46, and Sk47.

New extension: The proposed roof material for the new extension will be a tern coated stainless steel roof with a low profile stainless steel roof light as shown on drawing Sk921 (material palette 03/04). The proposed wall surface of the extension will be painted lime render. The fenestration to the new extension is stainless steel frameless glazing system as shown on drawing Sk922 (material palette 04/04).

Condition Discharge Documents:

LBRUT to revert if actual physical material samples will be required in this instance.

For precedent images confirming proposed materials please refer to BHA detail drawings listed below:

- Sk919_Proposed New External Materials Pallet (1of4) Dormer Roof Materials
- Sk920_Proposed New External Materials Pallet (2of4) Main roof and roof light materials
- Sk921_Proposed New External Materials Pallet (3of4) Extension Roof materials
- Sk922_Proposed New External Materials Pallet (4of4) Elevation materials

For details and location of proposed materials see:

Elevation studies:

- Sk26D_Proposed General Arrangement Roof Plan
- Sk27A_Proposed Southwest (Front) Elevation
- Sk28A_Proposed Southeast & Northwest (Side) Elevations
- Sk29A_Proposed Northeast (Rear) GA Elevation

Extension Wall and fenestration see construction studies:

- Sk30_Main Kitchen Extension Northeast Elevation (1:25)
- Sk31_Main Kitchen Extension Southeast & Southwest Elevation

Dormer window construction details:

- Sk42A_Typical Dormer Setting Out Assembly (Sheet 1 of 2)
- Sk43A_Typical Dormer Setting Out Assembly (Sheet 2 of 2)

Roof light details:

- Sk44A_Conservation Roof light nRL02 Detail Assembly
- Sk45A_nRL03 & nRL05 Roof light Detail Assembly
- Sk46_nRL02 Conservation Roof light Details
- Sk47_Typical Plateau Roof light Details



Close up example from a previous Butler Hegarty Architects' project of our proposed Sk48 corner junction detail between the dormer cheek leadwork and white painted timber lining boards.



above image:
Example of late 19c Victorian dwelling's mansard roof with three dormer windows lead lined cheeks. As per our 16 St Peters proposals the white painted timber box sash windows in this example comprise one over one fenestration. Additionally, their adjacent white timber lining boards provide a stop to the dormer cheek leadwork on the front face to meet the sash window as per our proposed details on BHA drawing **Sk42, Sk43 & Sk48**.



above images:
Example from a previous Butler Hegarty Architects project of the proposed leadwork roof and cheeks to be used on the three new 16 St Peters Road dormer windows including the lead lined curved hood eaves above the sash window. This example also shows the proposed corner junction detail between the dormer cheek leadwork and white painted timber lining boards.

PROPOSED PALLET OF LEAD AND WHITE PAINTED TIMBER TO NEW DORMER WINDOWS



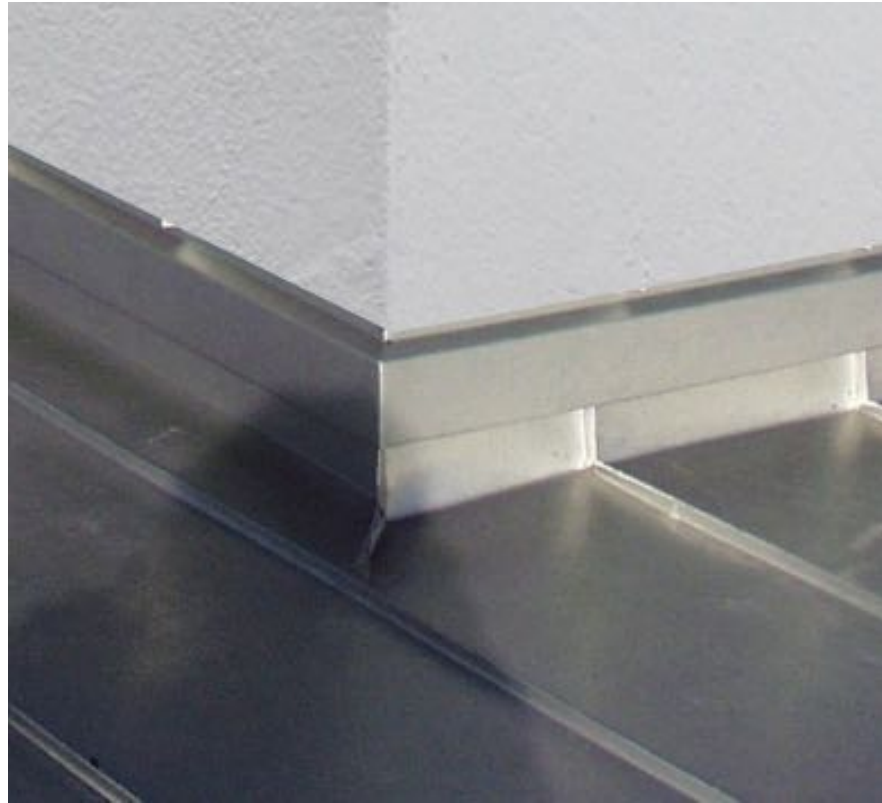
above images:
Examples of *The Original Conservation Rooflight* by The Rooflight Company with lead flashing proposed on South West (Front) Elevation (**Rooflight Ref: nRL02**) for the second floor Bathroom 2R7 and installed to manufactures recommendations to finish flush with the existing pitched slate roof.

above images:
Examples of *The Plateau Conservation Rooflight* by The Rooflight Company proposed for the existing house new rooflights (**Rooflight Ref: nRL03,04,05 & 06**) and installed to manufactures recommendations on the proposed new Terne Coated Stainless Steel hipped roof cover.

For Details please refer to BHA drawings:
Sk44_Conservation Rooflight nRL03 Detail Assembly
Sk45_nRL06 & nRL04 Rooflight Detail Assembly
Sk46_nRL02 Conservation Rooflight Details
Sk47_Typical Plateau Rooflight Details

For General Arrangement Location:
Sk26_Proposed General Arrangement Roof Plan
Sk27_Proposed South West (Front) Elevation
Sk28_Proposed South East & North West (Side) Elevations
Sk29_Proposed North East (Rear) GA Elevation

PROPOSED NEW CONSERVATION ROOFLIGHTS TO EXISTING HOUSE MAIN ROOF REFURBISHMENT.



Above image:
Example of Terne Coated Stainless Steel parapet, (with folded seams), as proposed to cap the 16 St Peters Road new build side extension's white painted lime render walls.

Top image:
Example of Terne Coated Stainless Steel abutment detail to white painted lime render wall proposed for junction between new side extension roof and existing house's side elevation.

Above image:
Example of Terne Coated Stainless Steel concealed gutter parapet, (with folded seams), over white painted render wall as proposed on the new build side extension roof.

Top image:
Example of Terne Coated Stainless Steel upstand detail to rooflight as proposed on the new build side extension roof.

**TERNE COATED STAINLESS STEEL STANDING SEAM
ROOFING MATERIAL PROPOSED FOR NEW SIDE
EXTENSION AND MAIN HOUSE ROOF REFURBISHMENT.**

Butler Hegarty Architects
Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

For Details please refer to BHA drawings:
Sk80_Main Kitchen Extension Longitudinal Section X-X
Sk81_Main Kitchen Extension Cross Section Y-Y
Sk82_Main Kitchen Extension Roof Structure & Roof Plan
Sk83_Main Kitchen Extension Roof Details (Sheet 1of2)
Sk84_Main Kitchen Extension Roof Details (Sheet 2of2)

For General Arrangement Location:
Sk30_Main Kitchen Extension North East Elevation
Sk31_Main Kitchen Extension South East & South West Elevation

16 St. Peters Road
Title: Proposed New External Materials Pallet (3of4).
Drawing No: 0822522-Sk921 Scale: nts @ A3



Above image:
Close up detail of Sky-Frame Classic brushed stainless steel frameless glazed sliding door system set within a newbuild white lime rendered modern building as proposed on the rear garden elevation of the new extension.

Top image:
Sky-Frame Classic example with three panel fenestration arrangement behind frameless glazed balustrade with brushed stainless steel terrace edge cover plate.

PROPOSED PALLET OF WHITE PAINTED LIME RENDER AND BRUSHED ALUMINIUM FRAMELESS GLAZED SLIDING DOORS TO NEW EXTENSION.

Butler Hegarty Architects
Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



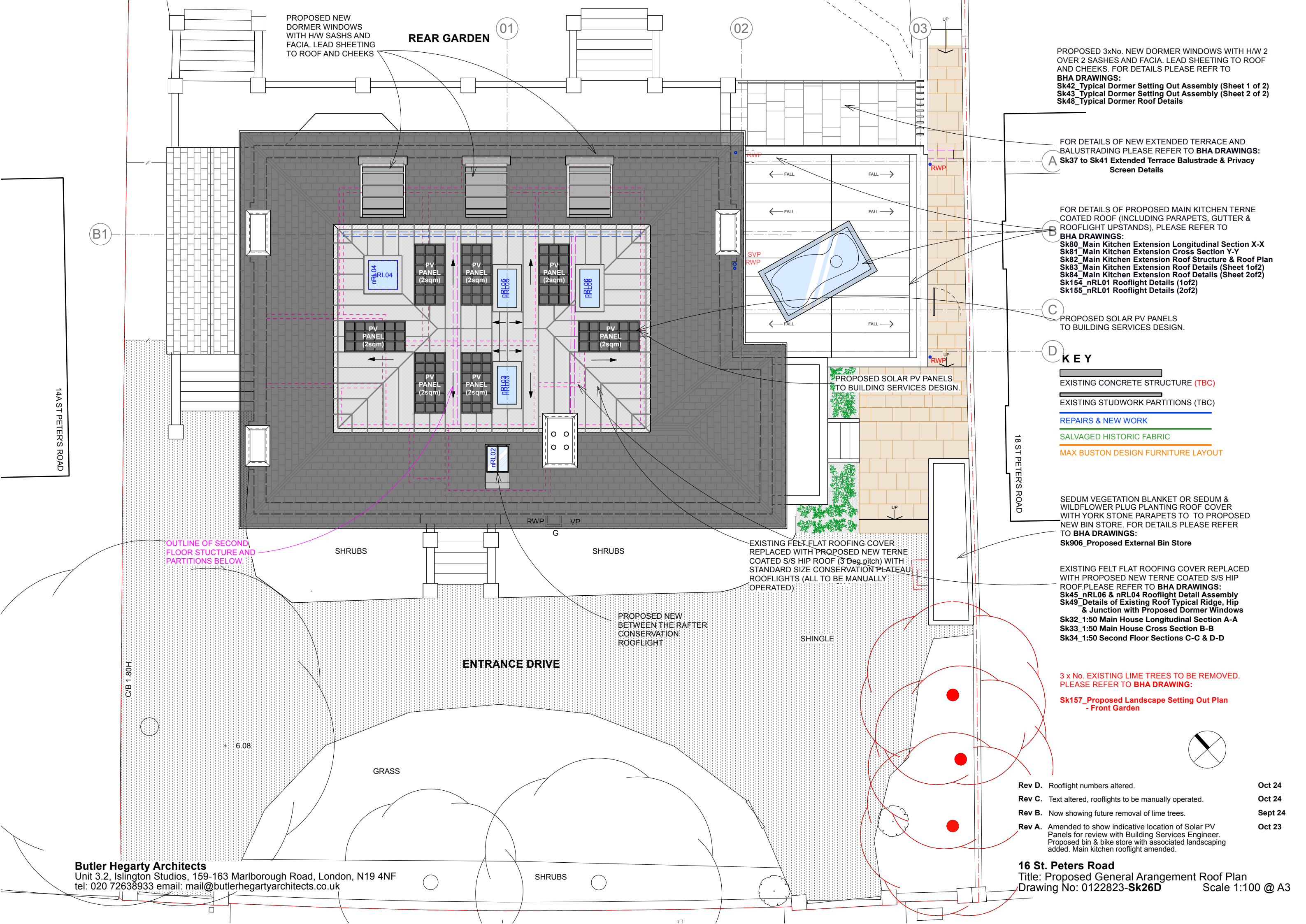
Above image:
Example from a single storey modern extension with the same materiality of white painted lime rendered and Terne Coated Stainless Steel parapet coping.

Top image:
Further example of Sky-Frame Classic sliding door system set within a newbuild white single storey rendered modern extension with a folded metal parapet coping.

For Details please refer to BHA drawings:
Sk80_Main Kitchen Extension Longitudinal Section X-X
Sk81_Main Kitchen Extension Cross Section Y-Y
Sk83_Main Kitchen Extension Roof Details (Sheet 1of2)
Sk84_Main Kitchen Extension Roof Details (Sheet 2of2)
Sk37_Extended Terrace Balustrade & Privacy Screen Details (Sheet 1of4)
Sk38_Extended Terrace Balustrade & Privacy Screen Details (Sheet 2of4)
Sk39_Extended Terrace Balustrade & Privacy Screen Details (Sheet 3of4)
Sk40_Extended Terrace Balustrade & Privacy Screen Details (Sheet 4of4)
Sk146_nDG05 Frameless Glazed Sliding Door Details (1of2)
Sk147_nDG05 Frameless Glazed Sliding Door Details (2of2)

For General Arrangement Location:
Sk30_Main Kitchen Extension North East Elevation
Sk31_Main Kitchen Extension South East & South West Elevation

16 St. Peters Road
Title: Proposed New External Materials Pallet (4of4).
Drawing No: 0822522-Sk922 Scale: nts @ A3



PROPOSED NEW DORMER WINDOWS WITH H/W SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS

REAR GARDEN

01

02

03

PROPOSED 3xNo. NEW DORMER WINDOWS WITH H/W 2 OVER 2 SASHES AND FACIA. LEAD SHEETING TO ROOF AND CHEEKS. FOR DETAILS PLEASE REFER TO BHA DRAWINGS:
 Sk42_Typical Dormer Setting Out Assembly (Sheet 1 of 2)
 Sk43_Typical Dormer Setting Out Assembly (Sheet 2 of 2)
 Sk48_Typical Dormer Roof Details

FOR DETAILS OF NEW EXTENDED TERRACE AND BALUSTRADING PLEASE REFER TO BHA DRAWINGS:
 Sk37 to Sk41 Extended Terrace Balustrade & Privacy Screen Details

FOR DETAILS OF PROPOSED MAIN KITCHEN TERNE COATED ROOF (INCLUDING PARAPETS, GUTTER & ROOFLIGHT UPSTANDS), PLEASE REFER TO BHA DRAWINGS:
 Sk80_Main Kitchen Extension Longitudinal Section X-X
 Sk81_Main Kitchen Extension Cross Section Y-Y
 Sk82_Main Kitchen Extension Roof Structure & Roof Plan
 Sk83_Main Kitchen Extension Roof Details (Sheet 1of2)
 Sk84_Main Kitchen Extension Roof Details (Sheet 2of2)
 Sk154_nRL01 Rooflight Details (1of2)
 Sk155_nRL01 Rooflight Details (2of2)

PROPOSED SOLAR PV PANELS TO BUILDING SERVICES DESIGN.

- KEY**
- EXISTING CONCRETE STRUCTURE (TBC)
 - EXISTING STUDWORK PARTITIONS (TBC)
 - REPAIRS & NEW WORK
 - SALVAGED HISTORIC FABRIC
 - MAX BUSTON DESIGN FURNITURE LAYOUT

SEDUM VEGETATION BLANKET OR SEDUM & WILDFLOWER PLUG PLANTING ROOF COVER WITH YORK STONE PARAPETS TO TO PROPOSED NEW BIN STORE. FOR DETAILS PLEASE REFER TO BHA DRAWINGS:
 Sk906_Proposed External Bin Store

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF. PLEASE REFER TO BHA DRAWINGS:
 Sk45_nRL06 & nRL04 Rooflight Detail Assembly
 Sk49_Details of Existing Roof Typical Ridge, Hip & Junction with Proposed Dormer Windows
 Sk32_1:50 Main House Longitudinal Section A-A
 Sk33_1:50 Main House Cross Section B-B
 Sk34_1:50 Second Floor Sections C-C & D-D

3 x No. EXISTING LIME TREES TO BE REMOVED. PLEASE REFER TO BHA DRAWING:
 Sk157_Proposed Landscape Setting Out Plan - Front Garden

- Rev D. Rooflight numbers altered. Oct 24
- Rev C. Text altered, rooflights to be manually operated. Oct 24
- Rev B. Now showing future removal of lime trees. Sept 24
- Rev A. Amended to show indicative location of Solar PV Panels for review with Building Services Engineer. Proposed bin & bike store with associated landscaping added. Main kitchen rooflight amended. Oct 23

16 St. Peters Road
 Title: Proposed General Arrangement Roof Plan
 Drawing No: 0122823-Sk26D Scale 1:100 @ A3

Butler Hegarty Architects
 Unit 3.2, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

14A ST PETERS ROAD

18 ST PETERS ROAD

OUTLINE OF SECOND FLOOR STRUCTURE AND PARTITIONS BELOW:

SHRUBS

SHRUBS

EXISTING FELT FLAT ROOFING COVER REPLACED WITH PROPOSED NEW TERNE COATED S/S HIP ROOF (3° Deg pitch) WITH STANDARD SIZE CONSERVATION PLATEAU ROOFLIGHTS (ALL TO BE MANUALLY OPERATED)

PROPOSED NEW BETWEEN THE RAFTER CONSERVATION ROOFLIGHT

SHINGLE

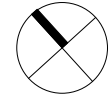
ENTRANCE DRIVE

GRASS

SHRUBS

C/B 1.80H

+ 6.08



BOUNDARY LINE TO 14a ST. PETER'S ROAD

BOUNDARY LINE TO 18 ST. PETER'S ROAD

PROPOSED RAFTER CONSERVATION
ROOFLIGHT nRL02
Please refer to Sk44 and
Sk46 for details of nRL02

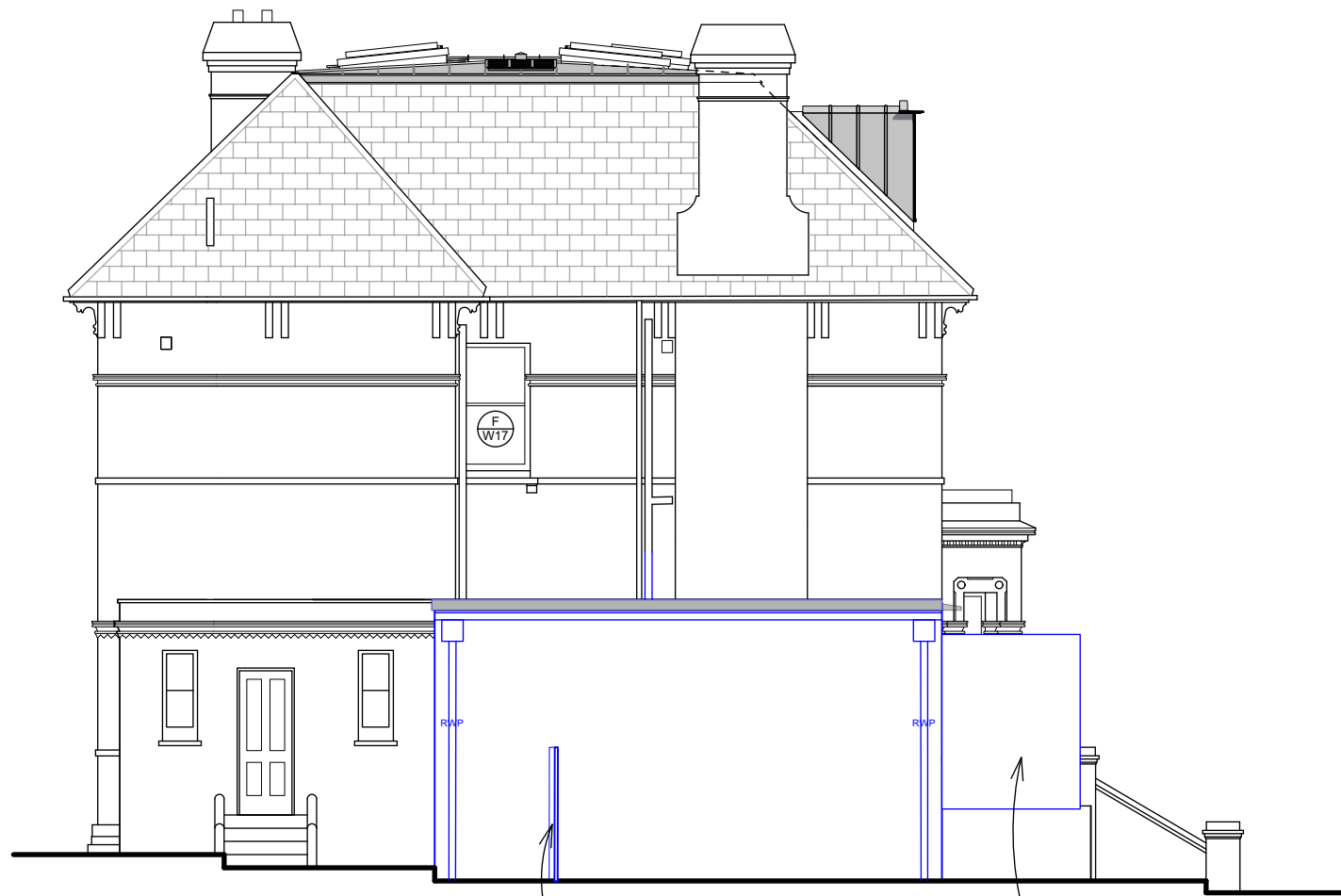


PROPOSED BIKE STORE Painted
Hardwood Doors To Covered Bike
Storage Area To Match New Bin
Store Doors
Please refer to Sk103 for
details of the proposed
bike store

Please refer to Sk85 for
details of nDG02

PROPOSED BIN STORE
Please refer to Sk101 for
details of the proposed
bin store

Proposed South West (Front) Elevation



PROPOSED FENCE

PROPOSED SOLID PRIVACY SCREEN
Please refer to Sk37, Sk38,
Sk39, and Sk40 for details of
the proposed privacy screen

Proposed South East (Side) Elevation



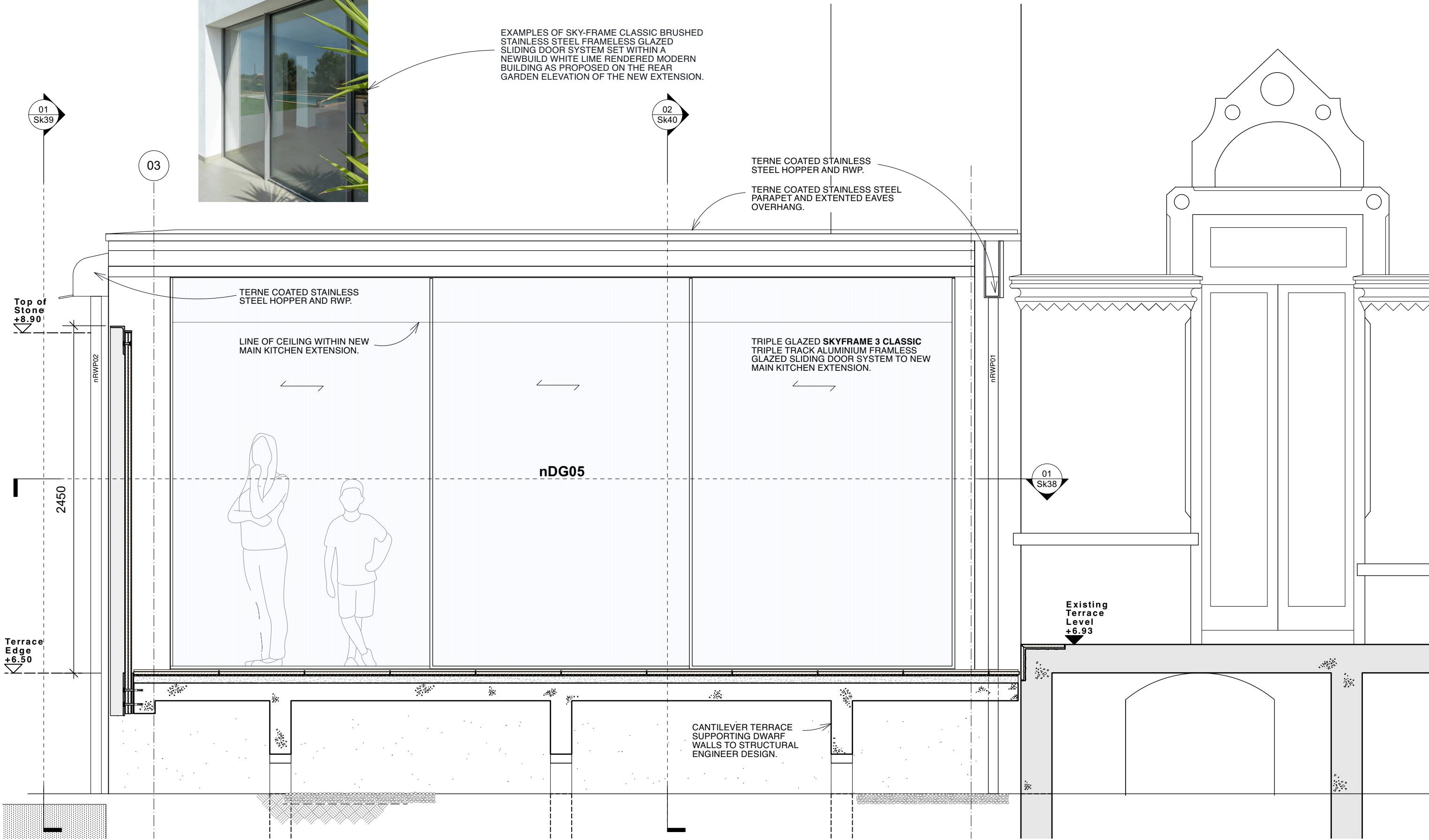
PROPOSED BIN STORE
Please refer to Sk101 for
details of the proposed
bin store

Proposed North West (Side) Elevation





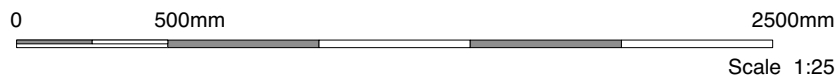
EXAMPLES OF SKY-FRAME CLASSIC BRUSHED STAINLESS STEEL FRAMELESS GLAZED SLIDING DOOR SYSTEM SET WITHIN A NEWBUILD WHITE LIME RENDERED MODERN BUILDING AS PROPOSED ON THE REAR GARDEN ELEVATION OF THE NEW EXTENSION.



**01. MAIN KITCHEN EXTENSION NORTH EAST ELEVATION
(Scale 1:25)**

To be read in conjunction with BHA Drawings Sk38, Sk39 and Sk40

Butler Hegarty Architects
Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

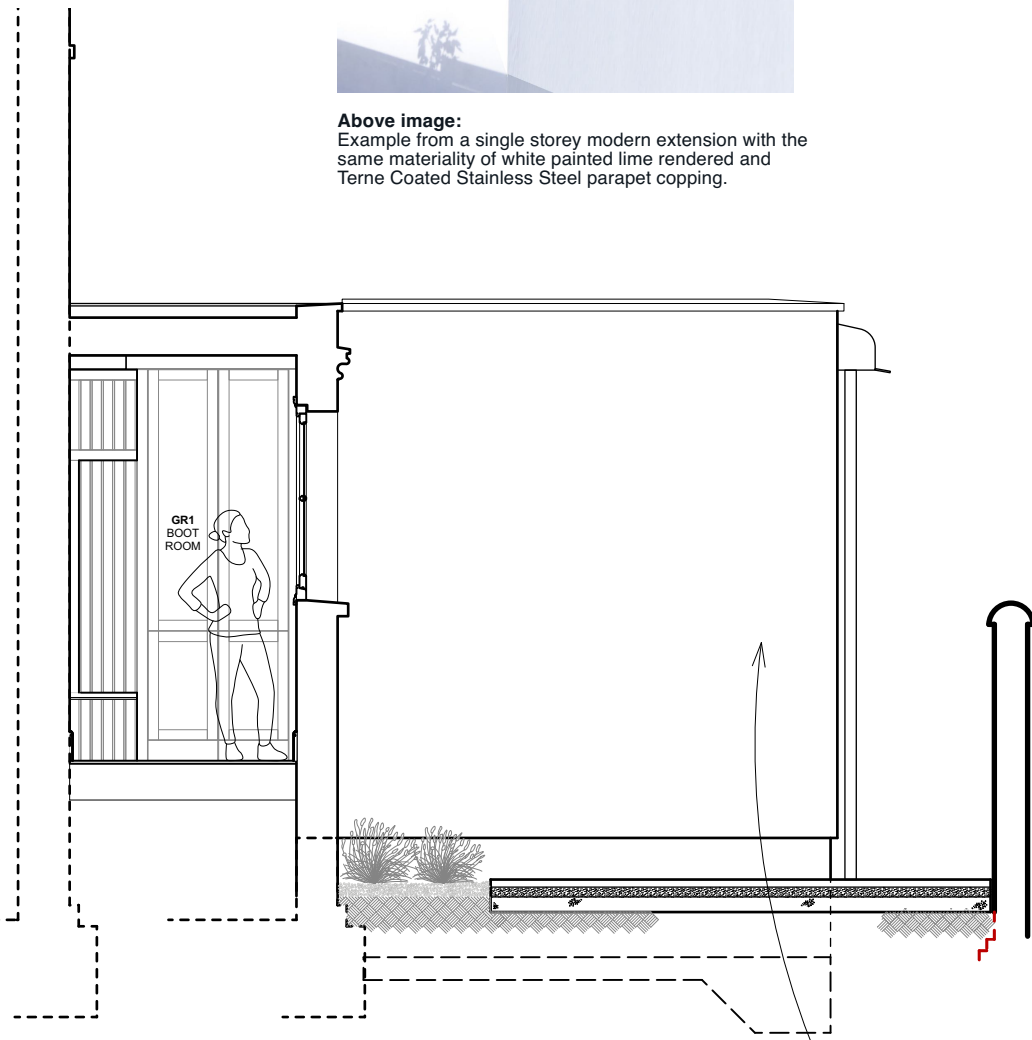


DO NOT SCALE

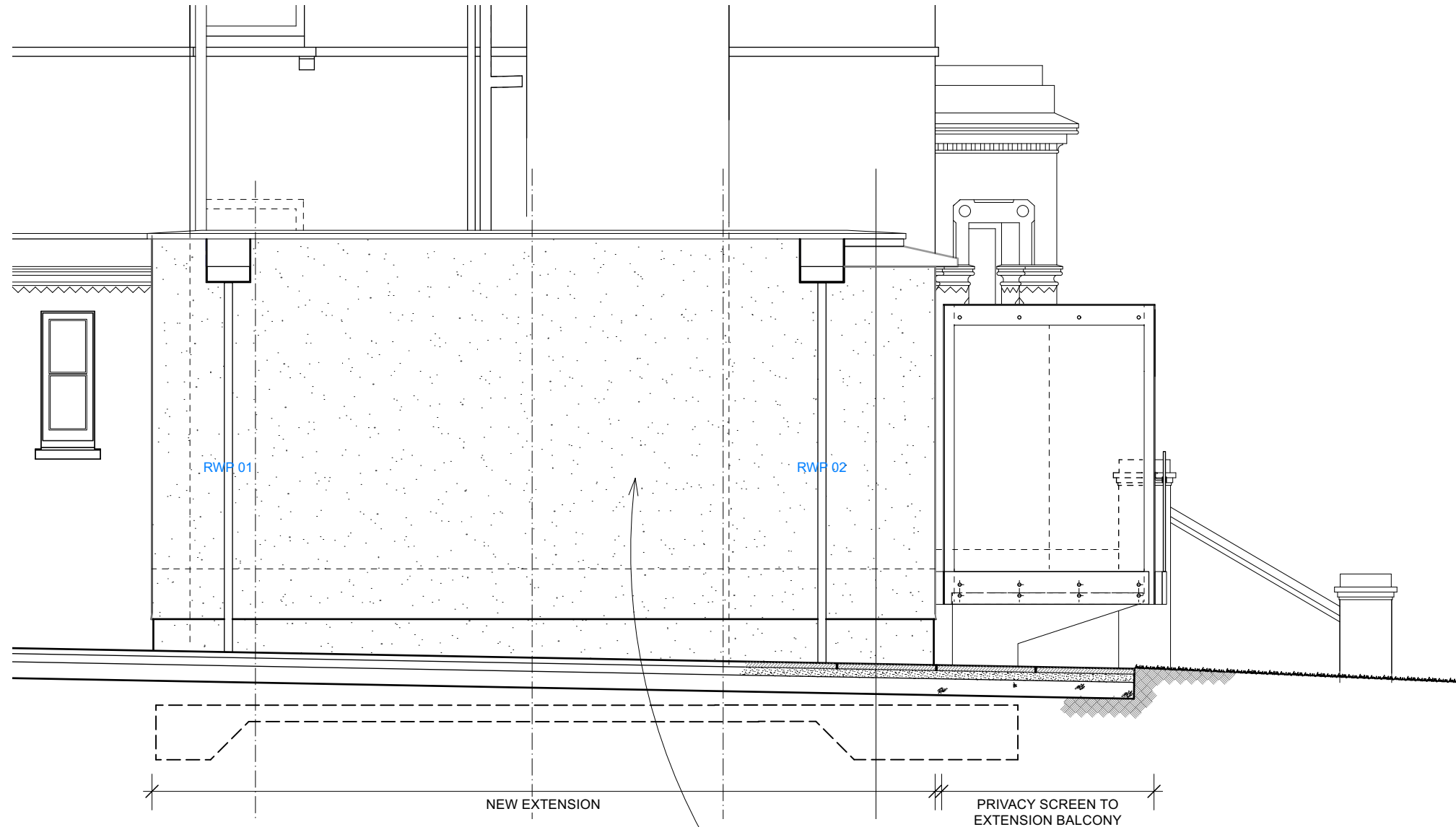
16 St. Peters Road
Title: Main Kitchen Extension North East Elevation
Drawing No: 0122823-Sk30 Scale 1:25 @ A3



Above image:
 Example from a single storey modern extension with the same materiality of white painted lime rendered and Terne Coated Stainless Steel parapet coping.



**01. MAIN KITCHEN EXTENSION
 SOUTH WEST ELEVATION
 (Scale 1:50)**



**01. MAIN KITCHEN EXTENSION
 SOUTH EAST ELEVATION
 (Scale 1:50)**

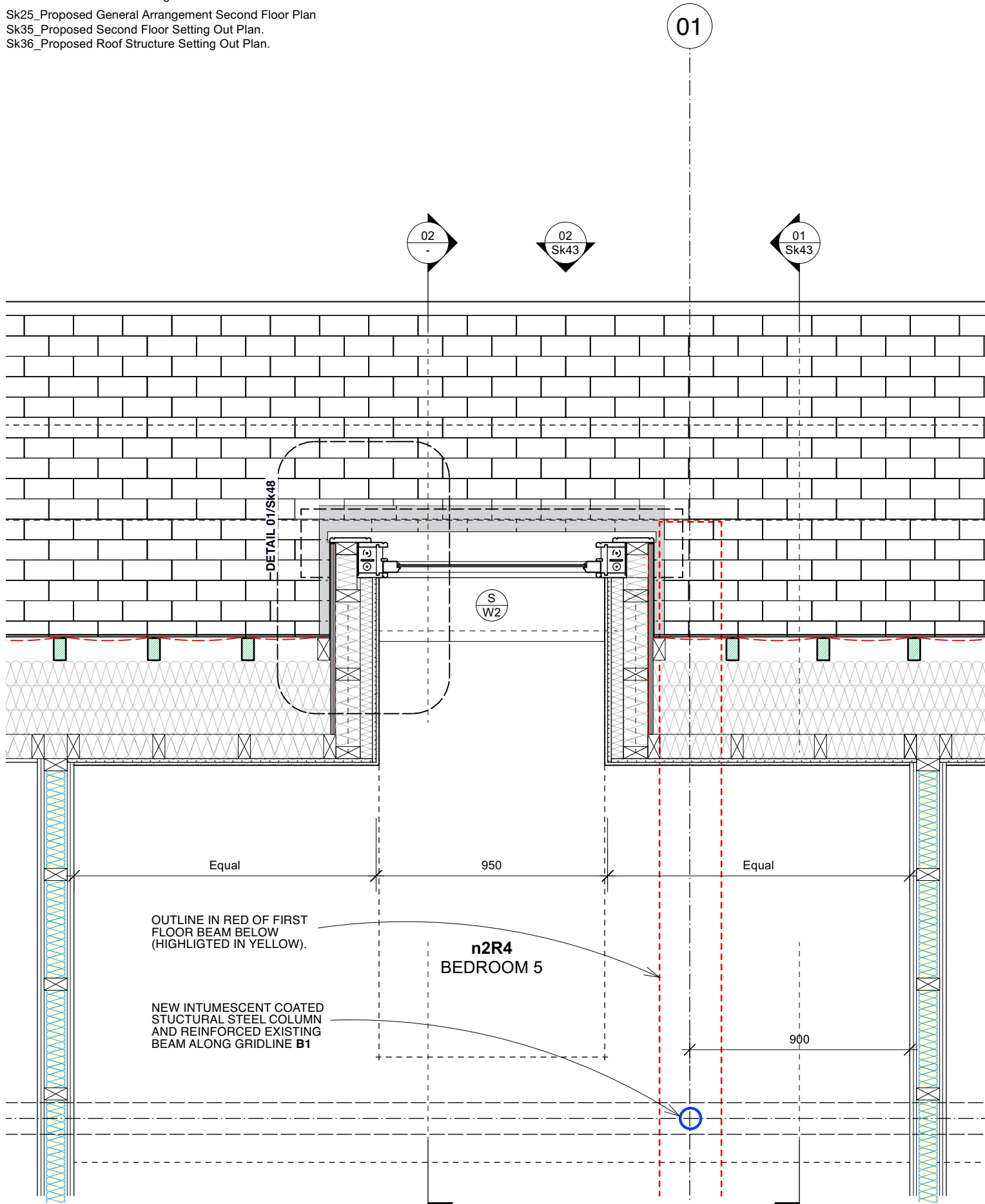
NOTES

Please read with BHA drawings:

Sk25_Proposed General Arrangement Second Floor Plan

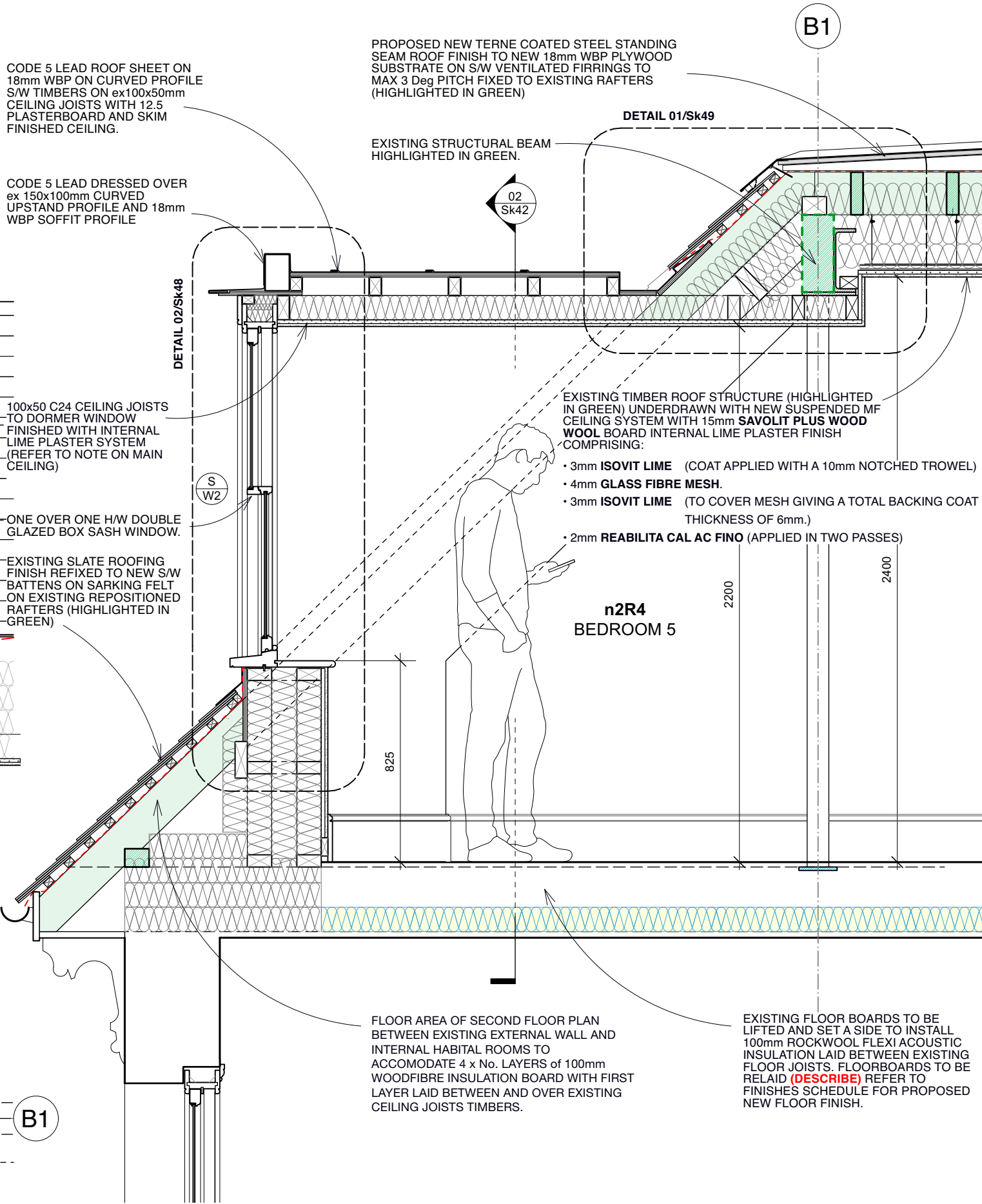
Sk35_Proposed Second Floor Setting Out Plan.

Sk36_Proposed Roof Structure Setting Out Plan.



01. PLAN ABOVE WINDOW CILL
(Scale 1:20)

Butler Hegarty Architects
Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



02. PART SECTION
(Scale 1:20)

Scale 1:20

DO NOT SCALE

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS (HIGHLIGHTED IN GREEN)

CODE 5 LEAD ROOF SHEET ON 18mm WBP ON CURVED PROFILE S/W TIMBERS ON ex100x50mm CEILING JOISTS WITH 12.5 PLASTERBOARD AND SKIM FINISHED CEILING.

CODE 5 LEAD DRESSED OVER ex 150x100mm CURVED UPSTAND PROFILE AND 18mm WBP SOFFIT PROFILE

EXISTING STRUCTURAL BEAM HIGHLIGHTED IN GREEN.

100x50 C24 CEILING JOISTS TO DORMER WINDOW FINISHED WITH INTERNAL LIME PLASTER SYSTEM (REFER TO NOTE ON MAIN CEILING)

ONE OVER ONE HW DOUBLE GLAZED BOX SASH WINDOW.

EXISTING SLATE ROOFING FINISH REFIXED TO NEW S/W BATTENS ON SARKING FELT ON EXISTING REPOSITIONED RAFTERS (HIGHLIGHTED IN GREEN)

EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm SAVOLIT PLUS WOOD WOOL BOARD INTERNAL LIME PLASTER FINISH COMPRISING:

- 3mm ISOVIT LIME (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
- 4mm GLASS FIBRE MESH.
- 3mm ISOVIT LIME (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
- 2mm REABILITA CAL AC FINO (APPLIED IN TWO PASSES)

FLOOR AREA OF SECOND FLOOR PLAN BETWEEN EXISTING EXTERNAL WALL AND INTERNAL HABITAL ROOMS TO ACCOMMODATE 4 x No. LAYERS OF 100mm WOODFIBRE INSULATION BOARD WITH FIRST LAYER LAID BETWEEN AND OVER EXISTING CEILING JOISTS TIMBERS.

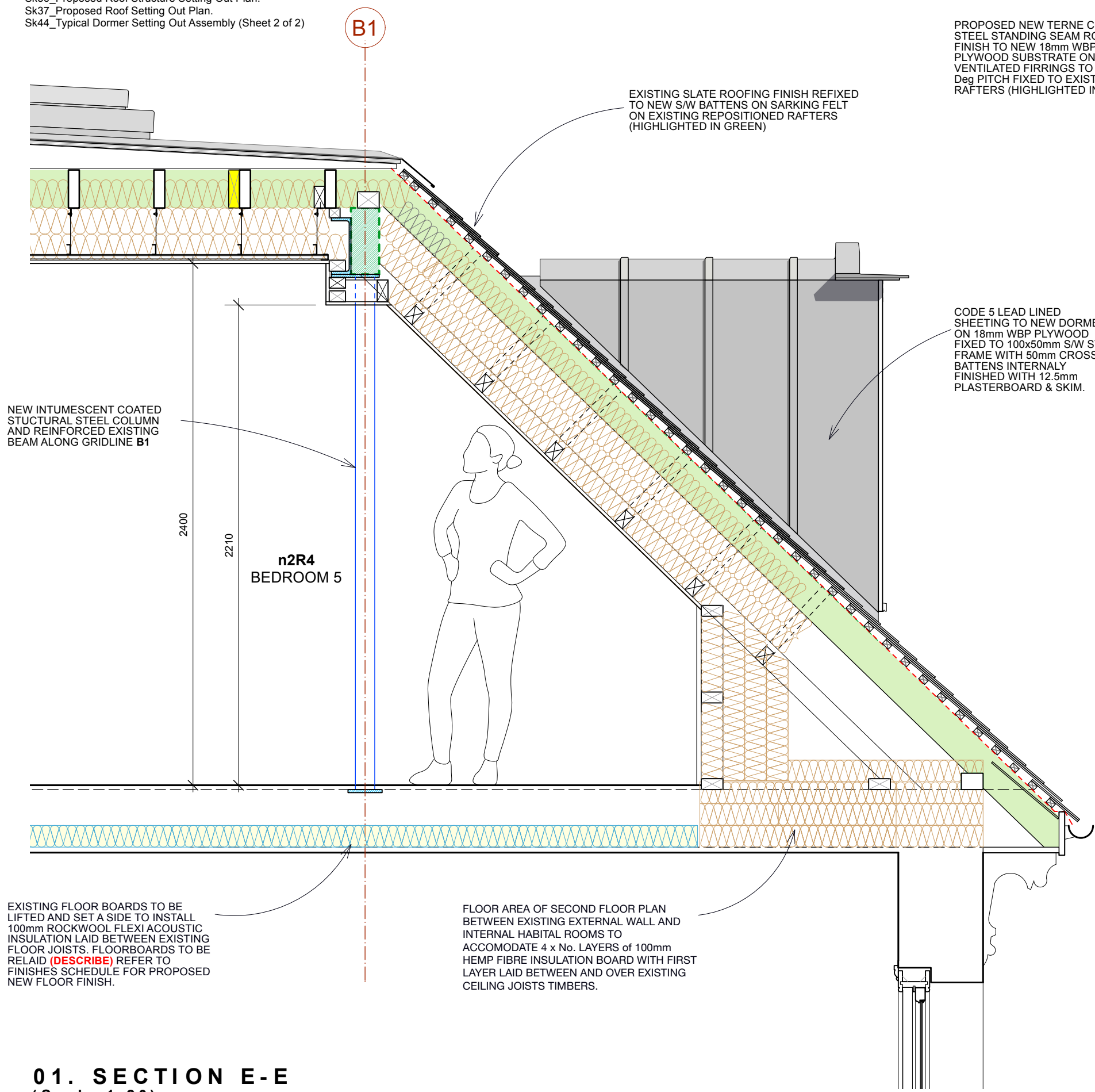
EXISTING FLOOR BOARDS TO BE LIFTED AND SET A SIDE TO INSTALL 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION LAID BETWEEN EXISTING FLOOR JOISTS. FLOORBOARDS TO BE RELAID (DESCRIBE) REFER TO FINISHES SCHEDULE FOR PROPOSED NEW FLOOR FINISH.

Rev A. Drawing updated & amended to discharge LBC/Planning conditions.

Jul 24

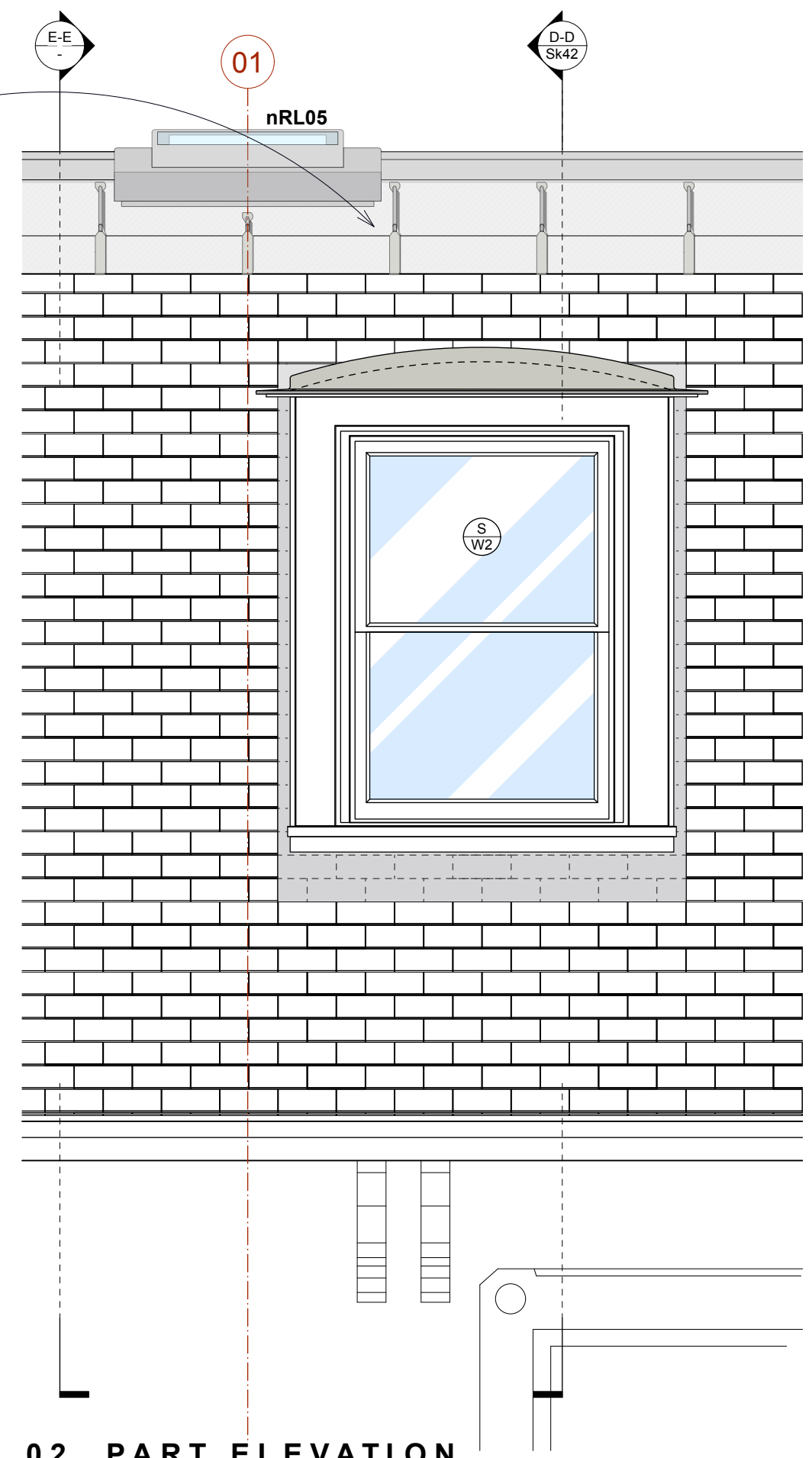
16 St. Peters Road
Title: Typical Dormer Setting Out Assembly (Sheet 1 of 2)
Drawing No: 0122823-Sk42A Scale 1:20 @ A3

NOTES
 Please read with BHA drawings:
 Sk35_Proposed Second Floor Setting Out Plan.
 Sk36_Proposed Roof Structure Setting Out Plan.
 Sk37_Proposed Roof Setting Out Plan.
 Sk44_Typical Dormer Setting Out Assembly (Sheet 2 of 2)



01. SECTION E-E
 (Scale 1:20)

Butler Hegarty Architects
 Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk



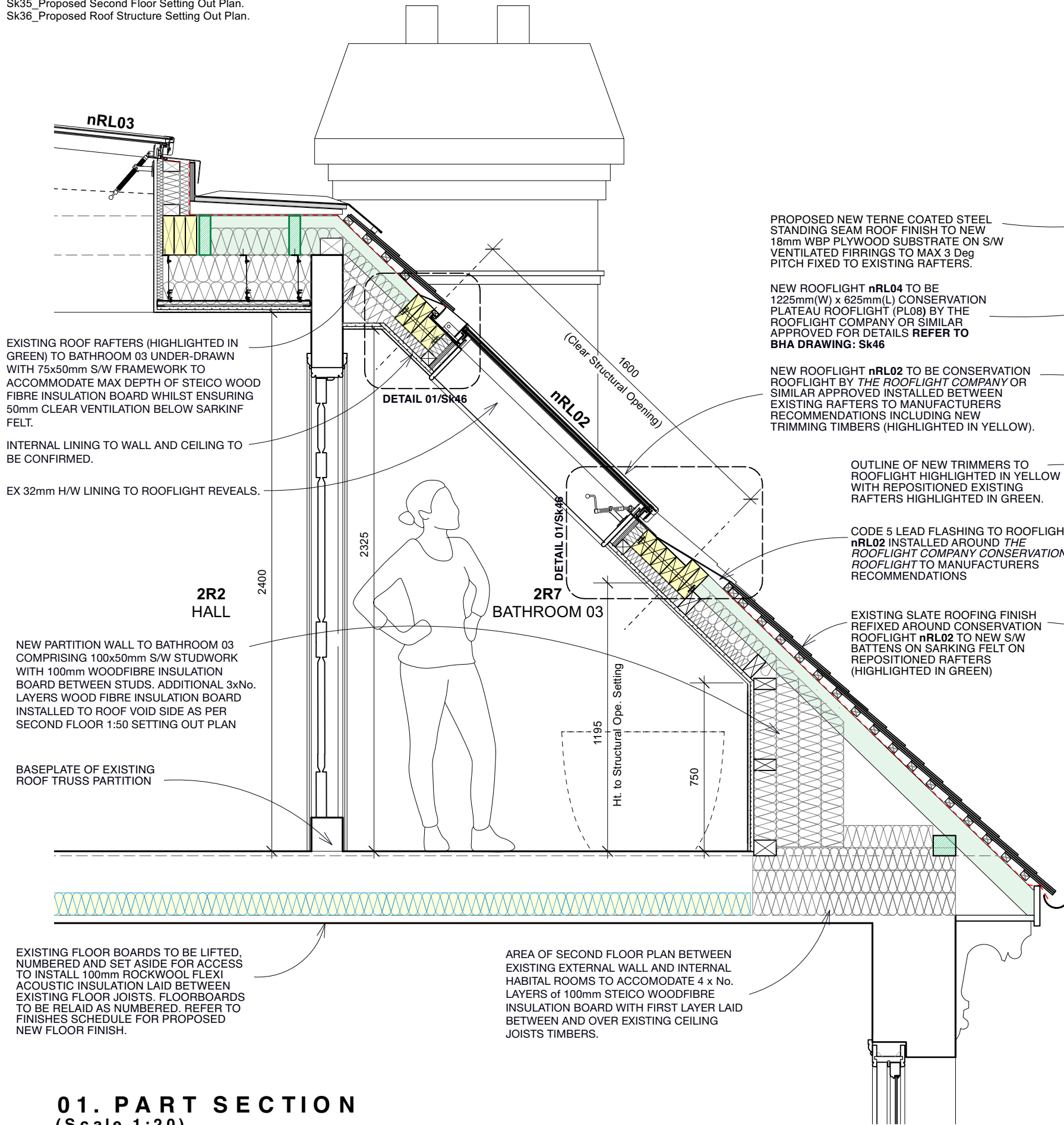
02. PART ELEVATION
 (Scale 1:20)

Rev A. Rooflight numbers altered

Oct 24

16 St. Peters Road
 Title: Typical Dormer Setting Out Assembly (Sheet 2 of 2)
 Drawing No: 0122823-Sk43A Scale 1:20 @ A3

NOTES
 Please read with BHA drawings:
 Sk25_Proposed General Arrangement Second Floor Plan
 Sk35_Proposed Second Floor Setting Out Plan.
 Sk36_Proposed Roof Structure Setting Out Plan.



EXISTING ROOF RAFTERS (HIGHLIGHTED IN GREEN) TO BATHROOM 03 UNDER-DRAWN WITH 75x50mm S/W FRAMEWORK TO ACCOMMODATE MAX DEPTH OF STEICO WOOD FIBRE INSULATION BOARD WHILST ENSURING 50mm CLEAR VENTILATION BELOW SARKINF FELT.

INTERNAL LINING TO WALL AND CEILING TO BE CONFIRMED.

EX 32mm H/W LINING TO ROOFLIGHT REVEALS.

2R2 HALL

NEW PARTITION WALL TO BATHROOM 03 COMPRISING 100x50mm S/W STUDWORK WITH 100mm WOODFIBRE INSULATION BOARD BETWEEN STUDS. ADDITIONAL 3xNo. LAYERS WOOD FIBRE INSULATION BOARD INSTALLED TO ROOF VOID SIDE AS PER SECOND FLOOR 1:50 SETTING OUT PLAN

BASEPLATE OF EXISTING ROOF TRUSS PARTITION

EXISTING FLOOR BOARDS TO BE LIFTED, NUMBERED AND SET ASIDE FOR ACCESS TO INSTALL 100mm ROCKWOOL FLEXI ACOUSTIC INSULATION LAID BETWEEN EXISTING FLOOR JOISTS. FLOORBOARDS TO BE RELAID AS NUMBERED. REFER TO FINISHES SCHEDULE FOR PROPOSED NEW FLOOR FINISH.

AREA OF SECOND FLOOR PLAN BETWEEN EXISTING EXTERNAL WALL AND INTERNAL HABITABLE ROOMS TO ACCOMMODATE 4 x No. LAYERS OF 100mm STEICO WOODFIBRE INSULATION BOARD WITH FIRST LAYER LAID BETWEEN AND OVER EXISTING CEILING JOISTS TIMBERS.

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

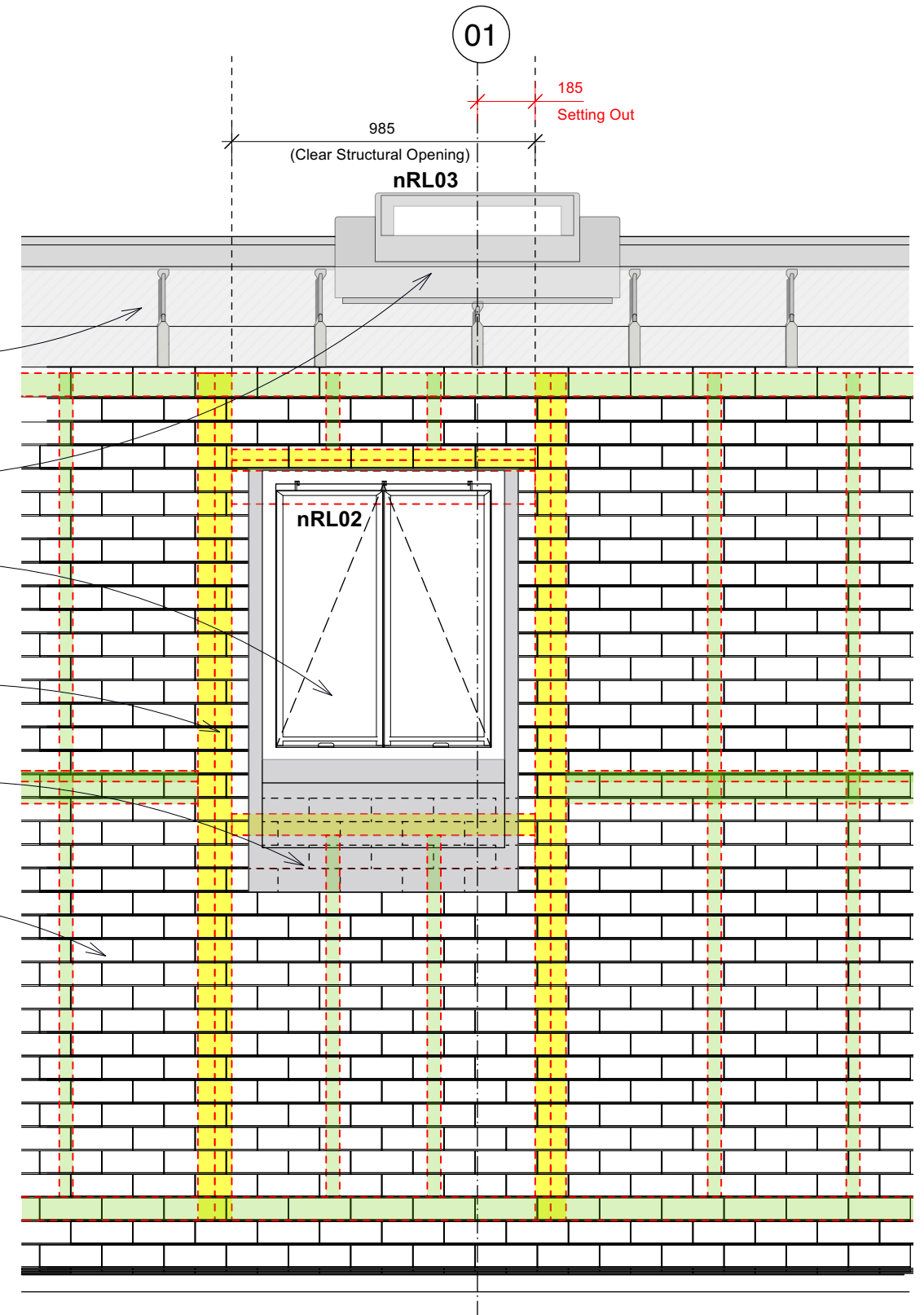
NEW ROOFLIGHT nRL04 TO BE 1225mm(W) x 625mm(L) CONSERVATION PLATEAU ROOFLIGHT (PL08) BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED FOR DETAILS REFER TO BHA DRAWING: Sk46

NEW ROOFLIGHT nRL02 TO BE CONSERVATION ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS INCLUDING NEW TRIMMING TIMBERS (HIGHLIGHTED IN YELLOW).

OUTLINE OF NEW TRIMMERS TO ROOFLIGHT HIGHLIGHTED IN YELLOW WITH REPOSITIONED EXISTING RAFTERS HIGHLIGHTED IN GREEN.

CODE 5 LEAD FLASHING TO ROOFLIGHT nRL02 INSTALLED AROUND THE ROOFLIGHT COMPANY CONSERVATION ROOFLIGHT TO MANUFACTURERS RECOMMENDATIONS

EXISTING SLATE ROOFING FINISH REFIXED AROUND CONSERVATION ROOFLIGHT nRL02 TO NEW S/W BATTENS ON SARKINF FELT ON REPOSITIONED RAFTERS (HIGHLIGHTED IN GREEN)



02. PART ELEVATION
(Scale 1:20)

0 400mm 2m Scale 1:20

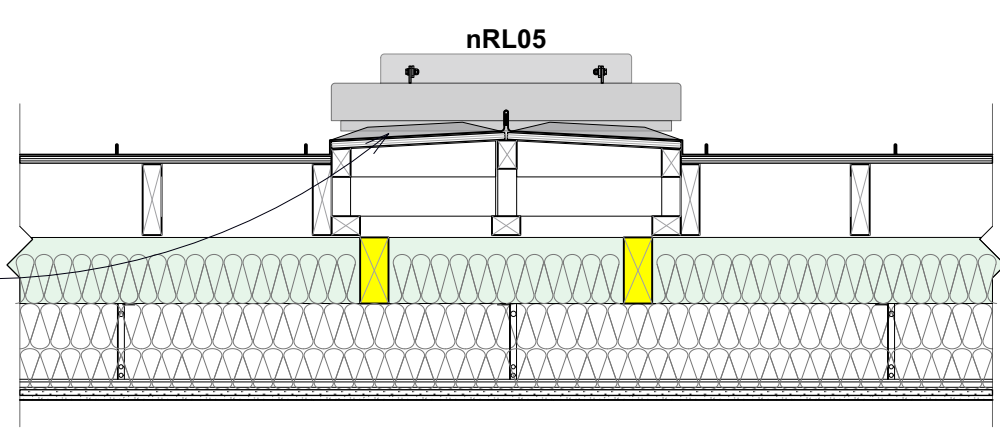
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Rev A. Drawing updated & amended to discharge LBC/Planning conditions.

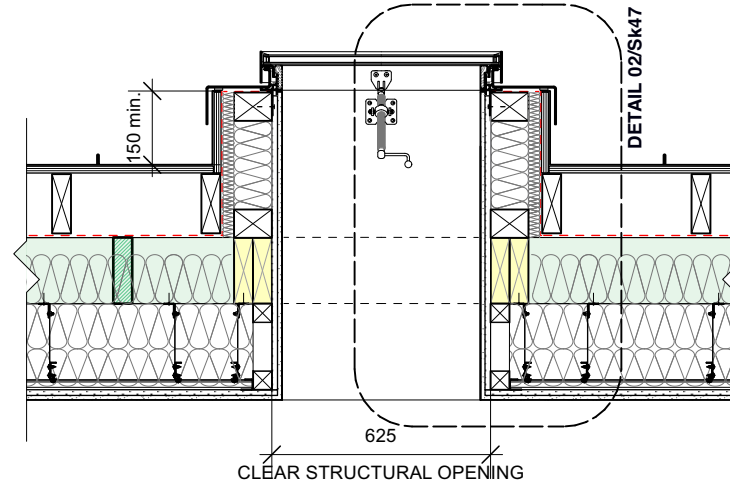
Jul 24

NOTES
 Please read with BHA drawings:
 Sk25_Proposed General Arrangement Second Floor Plan
 Sk35_Proposed Second Floor Setting Out Plan.
 Sk36_Proposed Roof Structure Setting Out Plan.

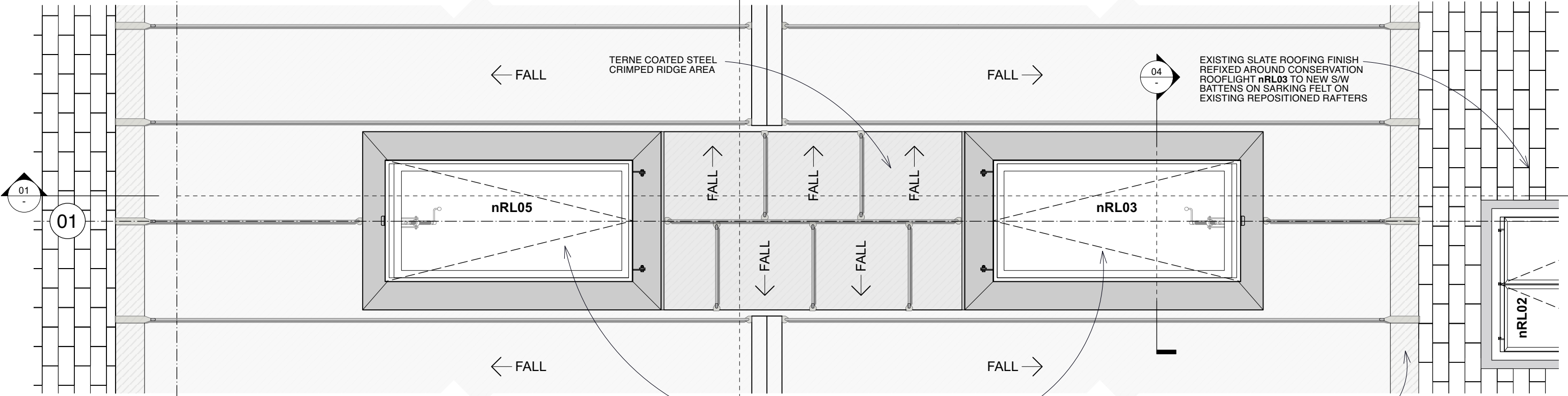
CRIMPED RIDGE AREA FORMED TO PROVIDE DRAINAGE FALLS BETWEEN ROOFLIGHTS nRL05 & nRL03 COMPRISING TERNE COATED STEEL ON 18mm WBP PLYWOOD ON S/W VENTILATED FRAMEWORK ON EXISTING ROOF TIMBERS (HIGHLIGHTED IN GREEN). STANDING SEAMS ARE NECESSARILY STAGGERED.



03. CRIMPED RIDGE ROOF AREA DETAIL SECTION
 (Scale 1:20)



04. DETAIL SECTION 04
 (Scale 1:20)



02. nRL06 & nRL04 DETAIL PLAN
 (Scale 1:20)

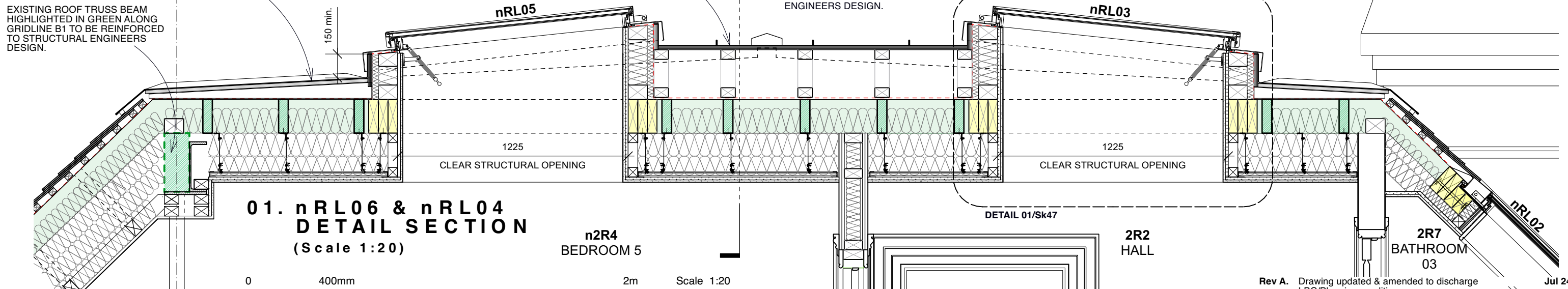
PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.

EXISTING ROOF TRUSS BEAM HIGHLIGHTED IN GREEN ALONG GRIDLINE B1 TO BE REINFORCED TO STRUCTURAL ENGINEERS DESIGN.

TERNE COATED STEEL CRIMPED RIDGE AREA

1225mm (W) x 625mm (L) PL08 CONSERVATION PLATEAU ROOFLIGHT BY THE ROOFLIGHT COMPANY OR SIMILAR APPROVED INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS WITH NEW TRIMMING TIMBERS TO ENGINEERS DESIGN.

PROPOSED NEW TERNE COATED STEEL STANDING SEAM ROOF FINISH TO NEW 18mm WBP PLYWOOD SUBSTRATE ON S/W VENTILATED FIRRINGS TO MAX 3 Deg PITCH FIXED TO EXISTING RAFTERS.



01. nRL06 & nRL04 DETAIL SECTION
 (Scale 1:20)

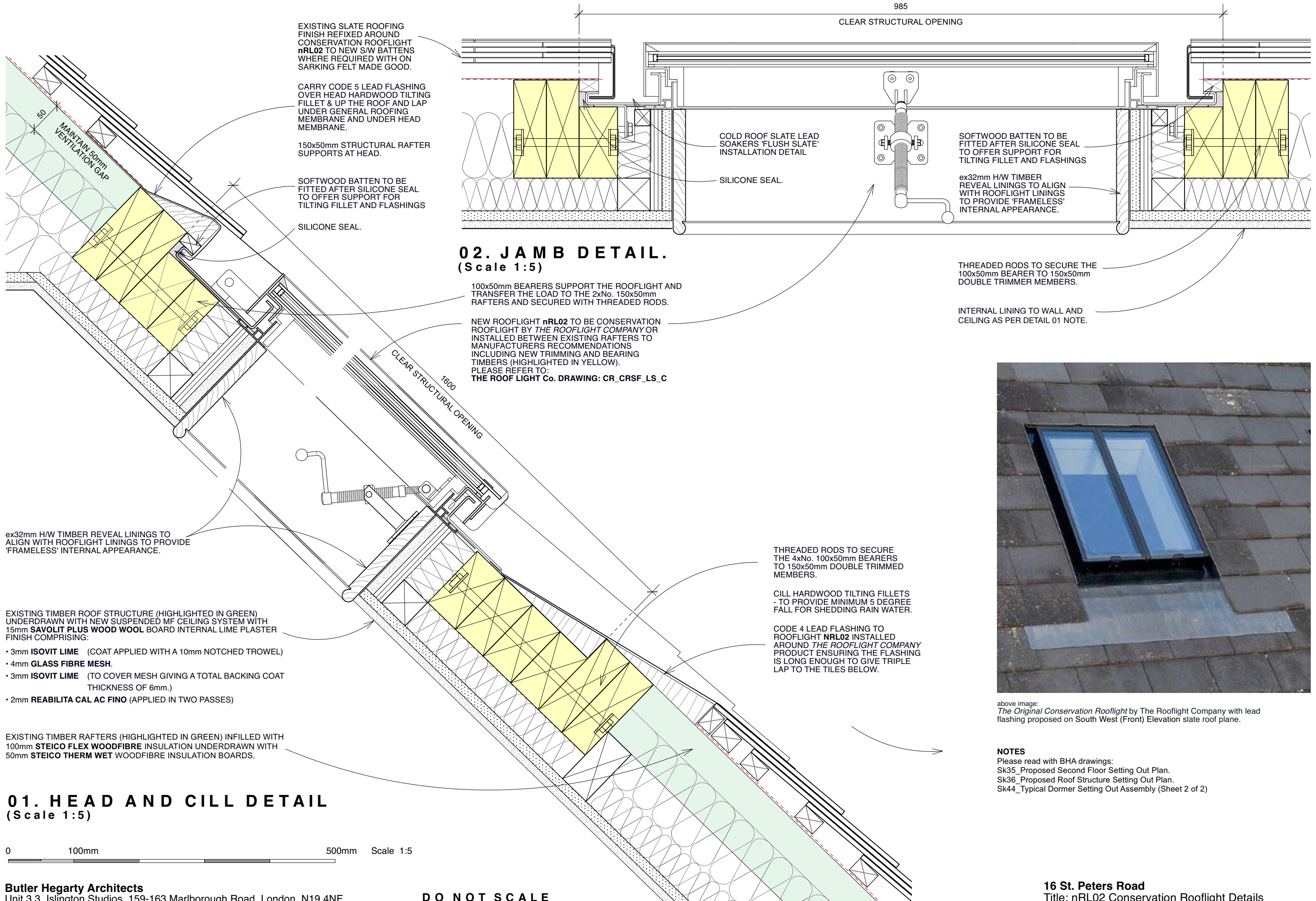
0 400mm 2m Scale 1:20

DO NOT SCALE

Butler Hegarty Architects
 Unit 3.3, Islington Studios, 159-163 Marlborough Road, London, N19 4NF
 tel: 020 72638933 email: mail@butlerhegartyarchitects.co.uk

Rev A. Drawing updated & amended to discharge LBC/Planning conditions. Jul 24

16 St. Peters Road
 Title: nRL03 & nRL05 Rooflight Detail Assembly
 Drawing No: 0122823-Sk45A Scale 1:20 @ A3



EXISTING SLATE ROOFING FINISH REFIXED AROUND CONSERVATION ROOFLIGHT nRL02 TO NEW S/W BATTENS WHERE REQUIRED WITH ON SARKING FELT MADE GOOD.

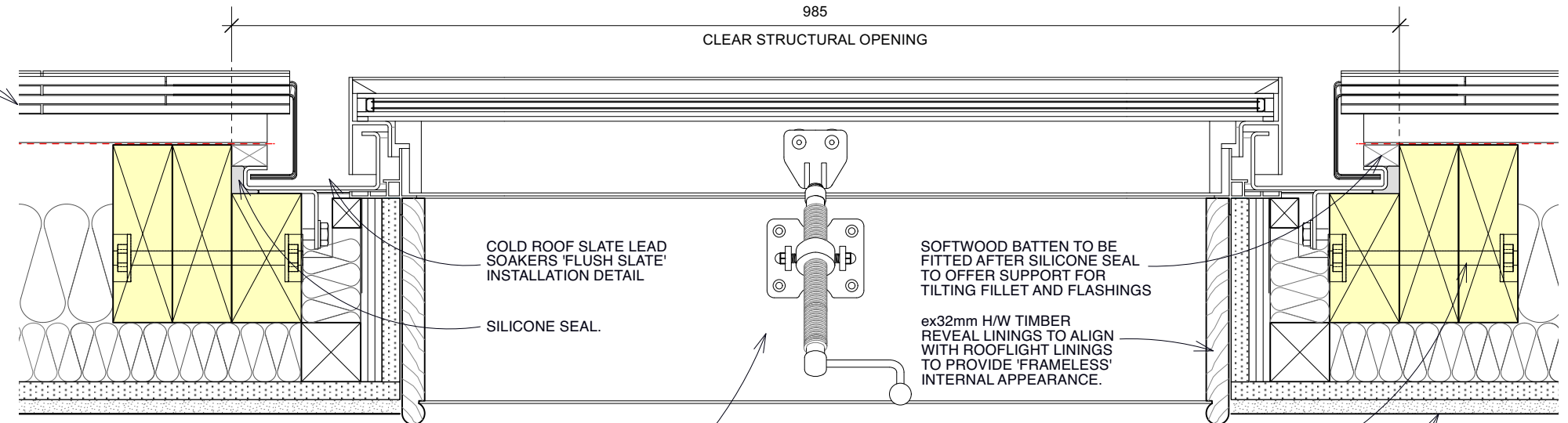
CARRY CODE 5 LEAD FLASHING OVER HEAD HARDWOOD TILTING FILLET & UP THE ROOF AND LAP UNDER GENERAL ROOFING MEMBRANE AND UNDER HEAD MEMBRANE.

150x50mm STRUCTURAL RAFTER SUPPORTS AT HEAD.

SOFTWOOD BATTEN TO BE FITTED AFTER SILICONE SEAL TO OFFER SUPPORT FOR TILTING FILLET AND FLASHINGS

SILICONE SEAL.

50
MAINTAIN 50mm VENTILATION GAP



02. JAMB DETAIL.
(Scale 1:5)

100x50mm BEARERS SUPPORT THE ROOFLIGHT AND TRANSFER THE LOAD TO THE 2xNo. 150x50mm RAFTERS AND SECURED WITH THREADED RODS.

NEW ROOFLIGHT nRL02 TO BE CONSERVATION ROOFLIGHT BY THE ROOFLIGHT COMPANY OR INSTALLED BETWEEN EXISTING RAFTERS TO MANUFACTURERS RECOMMENDATIONS INCLUDING NEW TRIMMING AND BEARING TIMBERS (HIGHLIGHTED IN YELLOW). PLEASE REFER TO: THE ROOF LIGHT Co. DRAWING: CR_CRSF_LS_C

985
CLEAR STRUCTURAL OPENING

COLD ROOF SLATE LEAD SOAKERS 'FLUSH SLATE' INSTALLATION DETAIL

SILICONE SEAL.

SOFTWOOD BATTEN TO BE FITTED AFTER SILICONE SEAL TO OFFER SUPPORT FOR TILTING FILLET AND FLASHINGS

ex32mm H/W TIMBER REVEAL LININGS TO ALIGN WITH ROOFLIGHT LININGS TO PROVIDE 'FRAMELESS' INTERNAL APPEARANCE.

THREADED RODS TO SECURE THE 100x50mm BEARER TO 150x50mm DOUBLE TRIMMER MEMBERS.

INTERNAL LINING TO WALL AND CEILING AS PER DETAIL 01 NOTE.

ex32mm H/W TIMBER REVEAL LININGS TO ALIGN WITH ROOFLIGHT LININGS TO PROVIDE 'FRAMELESS' INTERNAL APPEARANCE.

EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm SAVOLIT PLUS WOOD WOOL BOARD INTERNAL LIME PLASTER FINISH COMPRISING:

- 3mm ISOVIT LIME (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
- 4mm GLASS FIBRE MESH.
- 3mm ISOVIT LIME (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
- 2mm REABILITA CAL AC FINO (APPLIED IN TWO PASSES)

EXISTING TIMBER RAFTERS (HIGHLIGHTED IN GREEN) INFILLED WITH 100mm STEICO FLEX WOODFIBRE INSULATION UNDERDRAWN WITH 50mm STEICO THERM WET WOODFIBRE INSULATION BOARDS.

01. HEAD AND CILL DETAIL
(Scale 1:5)



THREADED RODS TO SECURE THE 4xNo. 100x50mm BEARERS TO 150x50mm DOUBLE TRIMMED MEMBERS.

CILL HARDWOOD TILTING FILLETS - TO PROVIDE MINIMUM 5 DEGREE FALL FOR SHEDDING RAIN WATER.

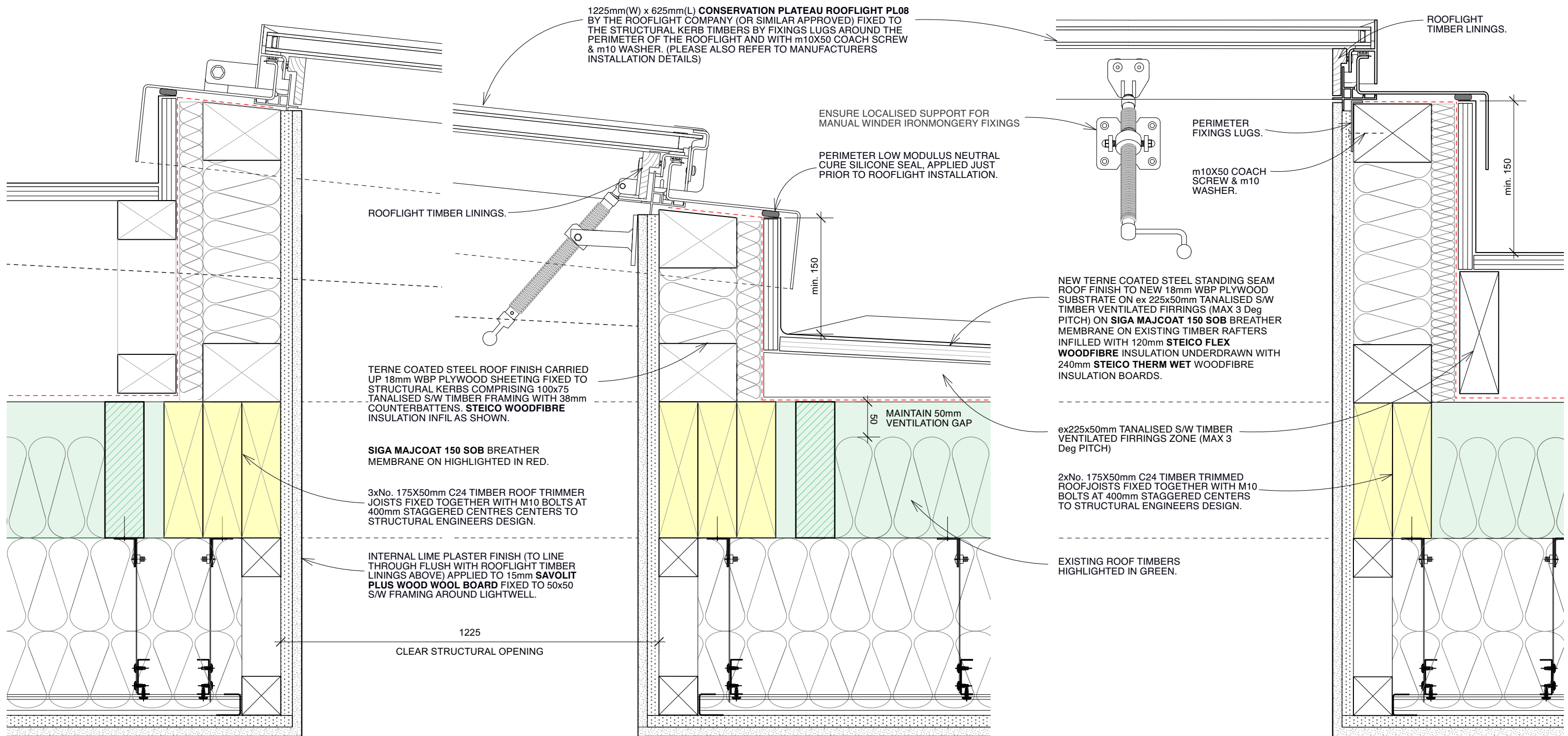
CODE 4 LEAD FLASHING TO ROOFLIGHT nRL02 INSTALLED AROUND THE ROOFLIGHT COMPANY PRODUCT ENSURING THE FLASHING IS LONG ENOUGH TO GIVE TRIPLE LAP TO THE TILES BELOW.

1600
CLEAR STRUCTURAL OPENING



above image:
The Original Conservation Rooflight by The Rooflight Company with lead flashing proposed on South West (Front) Elevation slate roof plane.

NOTES
Please read with BHA drawings:
Sk35_Proposed Second Floor Setting Out Plan.
Sk36_Proposed Roof Structure Setting Out Plan.
Sk44_Typical Dormer Setting Out Assembly (Sheet 2 of 2)



01. HEAD AND CILL DETAIL (Scale 1:5)

0 100mm 500mm Scale 1:5

- EXISTING TIMBER ROOF STRUCTURE (HIGHLIGHTED IN GREEN) UNDERDRAWN WITH NEW SUSPENDED MF CEILING SYSTEM WITH 15mm **SAVOLIT PLUS WOOD WOOL BOARD** INTERNAL LIME PLASTER FINISH COMPRISING:
- 3mm **ISOVIT LIME** (COAT APPLIED WITH A 10mm NOTCHED TROWEL)
 - 4mm **GLASS FIBRE MESH**.
 - 3mm **ISOVIT LIME** (TO COVER MESH GIVING A TOTAL BACKING COAT THICKNESS OF 6mm.)
 - 2mm **REABILITA CAL AC FINO** (APPLIED IN TWO PASSES)

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02. SIDE RAIL DETAIL (Scale 1:5)

- NOTES**
Please read with BHA drawings:
Sk35_Proposed Second Floor Setting Out Plan.
Sk36_Proposed Roof Structure Setting Out Plan.
Sk45_nRL03 & nRL05 Rooflight Detail Assembly



above image:
The Plateau Conservation Rooflight by The Rooflight Company proposed for the existing house new rooflights (Rooflight Ref: nRL03,04,05 & 06)

16 St. Peters Road
Title: Typical Plateau Conservation Rooflight Details
Drawing No: 0822522-Sk47 Scale 1:5 @ A3