

**Application reference: 24/2509/HOT**  
**HAMPTON WARD**

| Date application received | Date made valid | Target report date | 8 Week date |
|---------------------------|-----------------|--------------------|-------------|
| 07.10.2024                | 07.10.2024      | 02.12.2024         | 02.12.2024  |

**Site:**

79 Gloucester Road, Hampton, TW12 2UQ,

**Proposal:**

Hip to gable loft conversion including the installation of 4 roof windows into the pitched roof of the front elevation as well as the addition of a dormer at the rear

Status: Pending Decision (If status = HOLD please check that all is OK before you proceed any further with this application)

**APPLICANT NAME**

Mr & Mrs Higgin  
79 Gloucester Road  
Hampton  
Richmond Upon Thames  
TW12 2UQ

**AGENT NAME**

Mr Jon Wallace  
8 Ellison Grove  
Kings Hill  
ME19 4SQ

**DC Site Notice:** printed on and posted on and due to expire on

**Consultations:**

**Internal/External:**

**Consultee**

**Expiry Date**

**Neighbours:**

94 Gloucester Road, Hampton, TW12 2UJ, - 11.10.2024  
92 Gloucester Road, Hampton, TW12 2UJ, - 11.10.2024  
90 Gloucester Road, Hampton, TW12 2UJ, - 11.10.2024  
1 Carlisle Road, Hampton, TW12 2UL, - 11.10.2024  
81 Gloucester Road, Hampton, TW12 2UQ, - 11.10.2024  
77 Gloucester Road, Hampton, TW12 2UQ, - 11.10.2024

**History: Development Management, Appeals, Building Control, Enforcements:**

Development Management

Status: GTD Application:78/0967  
Date:05/09/1978 Erection of a single storey rear extension.

Development Management

Status: GTD Application:24/2177/PS192  
Date:22/10/2024 Hip to gable loft conversion including the installation of 4 roof windows into the pitched roof of the front elevation as well as the addition of a dormer at the rear

Development Management

Status: PDE Application:24/2509/HOT  
Date: Hip to gable loft conversion including the installation of 4 roof windows into the pitched roof of the front elevation as well as the addition of a dormer at the rear

Building Control

Deposit Date: 06.02.2007 Single storey rear extension and WC/cloaks under stairs  
Reference: 07/0242/FP

Building Control

Deposit Date: 28.03.2007 Single storey rear extension and WC/cloaks under stairs

|                                  |   |
|----------------------------------|---|
| <b>Application Number</b>        | <b>24/2509/HOT</b>  |
| <b>Address</b>                   | <b>79 Gloucester Road, Hampton TW12 2UQ</b>   |
| <b>Proposal</b>                  | <b>Hip to gable loft conversion including the installation of 4 roof windows into the pitched roof of the front elevation as well as the addition of a dormer at the rear</b> |
| <b>Contact Officer</b>           | <b>Phil Shipton</b>   |
| <b>Target Determination Date</b> | <b>2<sup>nd</sup> December 2024</b>   |

## 1. INTRODUCTION

This application is of a nature where the Council's Constitution delegates the authority to make the decision to Officers rather than it being determined by the Planning Committee.

Before preparing this summary report the planning officer considered any relevant previous planning applications in relation to the development and considered any comments made by those interested in the application such as consultees with specialist knowledge and nearby residents.

By indicating that the development proposal complies with relevant Local Plan Policies, the planning officer has considered the information submitted with the application, any previous relevant applications, any comments received in connection with the application and any other case specific considerations which are material to the decision.

## 2. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

The subject site consists of a two-storey semi-detached dwellinghouse, located on the eastern side of Gloucester Road, Hampton. Gloucester Road is characterised predominantly by two-storey duplex buildings of varying architectural style. It is noted that dormers consisting of hanging tile material, and front roof elevation rooflights are common within Gloucester Road.

The application site is situated within Area 3 - Gloucester Road and the Ormonds of the Hampton Village Character Area and is otherwise designated as:

- Area Susceptible To Groundwater Flood
- Article 4 Direction Basements
- Community Infrastructure Levy Band (Low)
- Risk of Flooding from Surface Water 1 in 1000 chance
- Take Away Management Zone

## 3. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

The proposed development comprises a hip to gable roof extension, including a double rear dormer, providing space for a loft bedroom and en-suite bathroom.

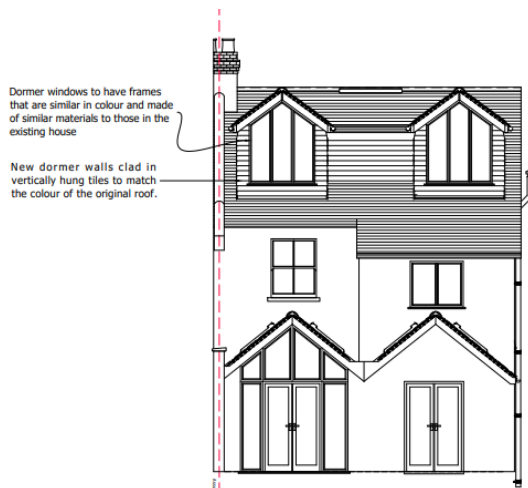
The rear dormer involves a partially recessed dormer wall between two dormer windows. The dormer windows have a gable roof form and extend from the ridgeline of the existing roof of the dwellinghouse. The dormer window roofs, and recessed dormer wall are proposed with hanging tiles, while the dormer window cheeks are proposed to be clad with zinc sheets. The dormer windows are proposed with a single pane.

One large flat rooflight with dimensions of 1.2m x 1.5m is proposed on the flat roof of the proposed dormer. Four rooflights are proposed for the street facing roof elevation.

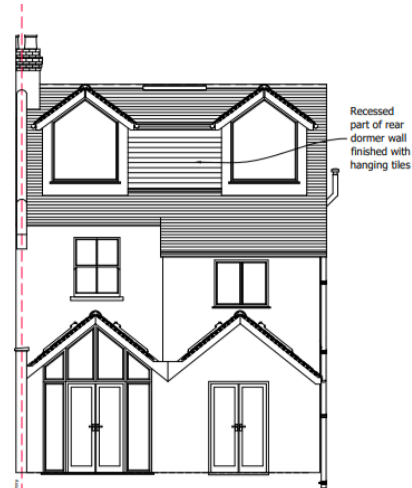
The comprehensive list of planning history can be found above. The most relevant planning history includes 24/2177/PS192 which was granted on the 22<sup>nd</sup> October 2024 for the same development as sought by this application, with the key differences being:

- The proposed dormer windows to be clad in hanging tiles, including dormer cheeks, and
- The proposed dormer windows consisting of mullions, consistent with that of the existing ground floor window.

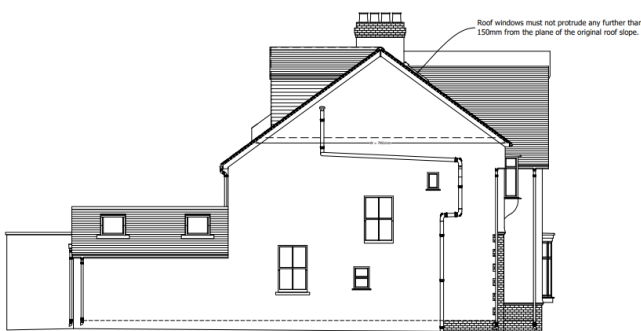
As such, the principle of this development has been approved as permitted development under 24/2177/PS192. The changes between the two proposals are illustrated below.



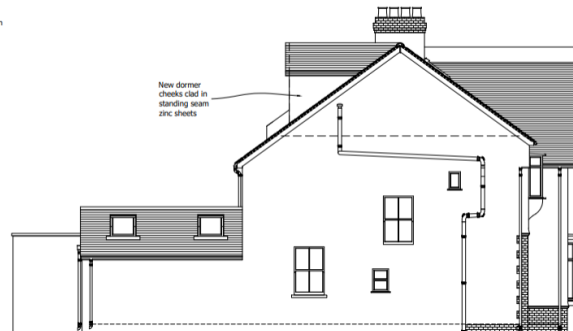
24/2177/PS192 Rear Elevation



24/2509/HOT Rear Elevation



24/2177/PS192 Side Elevation



24/2509/HOT Side Elevation

#### 4. CONSULTATIONS CARRIED OUT

The list of neighbours notified of this application are listed above.

No letters of representation were received.

#### 5. MAIN POLICIES RELEVANT TO THE DECISION

##### NPPF (2023)

The key chapters applying to the site are:

- 4. Decision-making
- 12. Achieving well-designed places
- 14. Meeting the challenge of climate change, flooding and coastal change

These policies can be found at:

<https://www.gov.uk/guidance/national-planning-policy-framework>

##### London Plan (2021)

The main policies applying to the site are:

- D4 Delivering good design
- D6 Housing quality and standards
- D11 Safety, security and resilience to emergency
- D12 Fire Safety

These policies can be found at: <https://www.london.gov.uk/what-we-do/planning/london-plan>

##### Richmond Local Plan (2018)

The main planning considerations applying to the site and the associated Local Plan policies are:

| Issue   | Local Plan Policy | Compliance     |               |
|---|-------------------|----------------|---------------|
| Local Character and Design Quality            | LP1               | <del>Yes</del> | No            |
| Impact on Amenity and Living Conditions       | LP8               | <del>Yes</del> | No            |
| Impact on Flood Risk and Sustainable Drainage | LP21              | Yes            | <del>No</del> |

These policies can be found at

[https://www.richmond.gov.uk/media/15935/adopted\\_local\\_plan\\_interim.pdf](https://www.richmond.gov.uk/media/15935/adopted_local_plan_interim.pdf)

### Richmond Publication Local Plan (Regulation 19 version)

The Richmond Publication Version Local Plan (Regulation 19 version) was published on 9 June 2023 for public consultation which ended on 24 July 2023.

The Publication Version Local Plan, together with all the representations received during the representation period, the plan and its supporting documents were submitted to the Secretary of State for examination on 19 January 2024. The submission documents do not form part of the statutory development plan for the Borough, however, by publishing and submitting the Borough Local Plan for independent examination the Council has formally confirmed its intention to adopt the Publication Plan.

The Publication Version Local Plan, including its evidence base, are material considerations for decision-making. The weight to be given to each of the emerging policies and allocations will depend on an assessment against the criteria set out in paragraph 48 of the NPPF. As the Council considers the emerging Borough Local Plan to be sound and legally compliant, officers and Councillors should accord relevant policies and allocations significant weight in the determination of applications taking account of the extent to which there are unresolved objections to relevant policies. Therefore, the weight afforded to each policy at this stage will differ depending on the level and type of representation to that policy. This is addressed in more detail in the assessment below where it is relevant to the application.

Note that it was agreed by Full Council on 27 April, when the Publication Plan was approved, that no weight will be given to Policy 4 in relation to the increased carbon offset rate, and therefore the existing rate of £95 will continue to be used; in addition, no weight will be given to Policy 39 in relation to the 20% biodiversity net gain requirement; all other aspects and requirements of these policies will apply.

| Issue                               | Publication Local Plan Policy | Compliance     |               |
|-------------------------------------|-------------------------------|----------------|---------------|
| Flood risk and sustainable drainage | 8                             | Yes            | <del>No</del> |
| Local character and design quality  | 28                            | <del>Yes</del> | No            |
| Amenity and living conditions       | 46                            | <del>Yes</del> | No            |

### Supplementary Planning Documents

House Extension and External Alterations  
Village Plan - Hampton

These policies can be found at:

[https://www.richmond.gov.uk/services/planning/planning\\_policy/local\\_plan/supplementary\\_planning\\_documents\\_and\\_guidance](https://www.richmond.gov.uk/services/planning/planning_policy/local_plan/supplementary_planning_documents_and_guidance)

### Other Local Strategies or Publications

Community Infrastructure Levy  
Strategic Flood Risk Assessment 2021

### Biodiversity Net Gain

Biodiversity net gain became mandatory for minor developments on applications made from 2<sup>nd</sup> April 2024. This application is exempt from mandatory biodiversity net gain on the grounds that is a householder application.

## 6. EXPLANATION OF OFFICER RECOMMENDATION

The key issues for consideration are:

i Design and impact on local character

- ii Impact on neighbour amenity
- iii Flood Risk
- iv Fire Safety

**i Design and impact on local character**

Policy Context

*Policy LP1 of the Local Plan 2018 seeks to maintain and, where possible, enhance the high architectural and urban design quality which contributes to the character and heritage of the area. Proposals should demonstrate an understanding of the site and its context when considering the design including layout, siting and access and the compatibility of the works to the neighbouring uses.*

Councils Local Plan Supplementary Planning Document House Extensions and External Alterations (SPD) states that:

- *An extension that results in the conversion of an existing hip roof into a gabled roof is not desirable and will not be encouraged. This is especially so when the roof-scape and space between the buildings are important features of the character of that part of the street; and there is symmetry with the adjoining semi-detached property or within the terrace in which the building is located.*
- *Roof extensions should not dominate the original roof. Normally a significant area of the existing roof should be left beneath a new dormer and on either side of the dormer, thus setting the extension well in from either side of the roof. It may be more successful to incorporate two smaller dormers than one large dormer.*
- *Ensure sensitivity to the existing character – A dormer window with a flat roof may be out of character with the original building. Hipped or gabled dormers are often preferable, or alternatively consider using roof lights. In order to create sufficient internal headroom, it may be acceptable as a compromise to have a small dormer with a flat roof.*
- *Dormer windows should be smaller than that of windows of the floor below. Windows should also be of a consistent style/detail to that of the existing dwellinghouse.*
- *The sides of dormer windows should be covered in materials that match or complement the main roof.*

Analysis

The proposal involves a hip to gable roof extension, with associated rear dormer. While such roof extensions are discouraged in guidance within the SPD, it is considered that the proposed hip to gable would help to balance the duplex building, whereby No.81 has a gable roof form. In the context of the streetscape, such gable roof forms are not uncommon throughout Gloucester Road and therefore the proposed roof extension would be considered in keeping with the character of the street.

The rear dormer consists of a two separate windows with gable roof forms, separated by a partially recessed dormer wall with a flat roof. The dormer as whole is set in from the side of the subject dwelling and set back from the eaves a sufficient distance, that the proposed dormer does not over dominate the roof. The proposed dormer wall and flat roof between the windows, while not the most harmonious feature, is considered to be mitigated by the gable dormer windows that conceal the dormer wall and flat roof from side elevation view and offer a visual focal point when observed from the rear of the property. Furthermore, the dormer wall is proposed with hanging tiles to match that of the existing roof.

The rooflights proposed for front roof elevation are considered of a modest size and appropriately positioned. Rooflights on front roof elevations are not uncommon on Gloucester Road, with varying sizes and positioning. As such, the proposed rooflights are considered in keeping with the rooflight appearance within the street. A single large rooflight is proposed for the flat roof of the dormer. Based on elevation plan submitted, the rooflight would not project above the ridgeline of the existing roof. As such, it would not be visible from the street front and would be largely concealed from the proposed dormer windows from side and rear perspectives. As such, the proposed dormer rooflight is considered appropriately integrated into the existing dwellinghouse to retain the existing character of the area.

Furthermore, the hip to gable roof extension and rear dormer including rooflights has active planning permission under 24/2177/PS192 and therefore the fundamentals of the proposal have been deemed permitted development. Nevertheless, the proposed roof extension and rear dormer including rooflights is considered an appropriate form of development for the subject dwellinghouse and in the context of Gloucester Road.

When considering the design points of difference between 24/2177/PS192 and the subject application (24/2509/HOT), the following points are made:

- The proposed dormer windows are larger than those of the floor below and are of a different style/detail. With reference to 24/2177/PS192, it is considered the window rails/siles are the component of the dormer windows which allows it to have a 'similar visual appearance to the existing house' under permitted development. Without these (as proposed) the windows appear out of balance and not in keeping with the existing house.
- With regard to the dormer cheeks, the zinc material proposed would be inconsistent with the character of the street and surrounding area. Hanging tiles is the predominant material for dormer materials on Gloucester Road and surrounds, which appropriately integrate the dormer into the existing roof. A departure from this would introduce a precedent which would degrade the architectural quality and consistency of the street character. The dwellinghouse already consists of a range of materials and introducing another material risks compromising the architectural integrity of the dwellinghouse.

In view of the above, the proposal fails to comply with the aims and objectives of policy LP1 of the Local Plan and policy 28 of the Publication Local Plan.

## ii Impact on neighbour amenity

Policy LP8 of the Local Plan states that *'development must protect the amenity and living conditions of existing, adjoining and neighbouring occupants. Design must allow for good daylight standards, avoid overlooking or noise disturbance, avoid visual intrusion, overbearing impacts or harm to the reasonable enjoyment of the uses of buildings and gardens.'*

Policy 46 of the Publication Local Plan adds that *'development should not result in unacceptable levels of overlooking (or perceived overlooking) to nearby occupiers.'*

The SPD notes that *'A new extension should not result in any substantial loss of privacy to adjoining dwellings and gardens to prevent overlooking.'*

The proposed hip to gable roof extension and dormer are not considered to have a visually intrusive or have an overbearing impact on any neighbours. The roof extension would not close or significantly reduce the gap to No.77.

The dormer windows do not introduce any overlooking or other privacy impacts that do not already exist. Rear dormers along Gloucester Road are common, and in particular, No.77 and No.81 consist of rear dormer windows that allow a certain level of overlooking. However, it is acknowledged that the proposed windows are considered out of scale with the existing dwellinghouse and allow for a full body view and without obscured glazing. As such, it is considered that this may create a greater perceived overlooking impact for neighbours.

In view of the above, the proposal fails to comply with the aims and objectives of policy LP8 of the Local Plan and policy 46 of the Publication Local Plan.

## iii Flood Risk

Local Plan Policy LP21 states that *All developments should avoid, or minimise, contributing to all sources of flooding, including fluvial, tidal, surface water, groundwater and flooding from sewers, taking account of climate change and without increasing flood risk elsewhere. Unacceptable developments and land uses will be refused in line with national policy and guidance.*

The site is designated by the Environment Agency as a site subject as at risk of flooding from surface water.

No Flood Risk Statement was been submitted. No change of use is proposed by the application and the internal floor level will be the same as existing. The Statement includes other mitigation measures in construction. The scheme is considered consistent with Policy LP21 of the Local Plan.

## v Fire Safety

London Plan policy D12 requires the submission of a Fire Safety Statement on all planning applications. A Fire Safety Strategy was submitted with the application. A condition will be included to ensure this is adhered to on an ongoing basis.

The materials proposed are to match existing and will need to be Building Regulations compliant. The applicant is advised that alterations to existing buildings should comply with the Building Regulations. This permission is NOT a consent under the Building Regulations for which a separate application should be made.

Overall, the scheme can therefore be considered consistent with this Policy D12 of the London Plan.

## **7. LOCAL FINANCE CONSIDERATIONS AND OTHER MATTERS**

Section 70(2) of the Town and Country Planning Act 1990 (as amended) provides that a local planning authority must have regard to a local finance consideration as far as it is material. The weight to be attached to a local finance consideration remains a matter for the decision maker. The Mayor of London's CIL and Richmond CIL are therefore material considerations.

On initial assessment this development is not considered liable for the Mayoral or Richmond CIL however this is subject to confirmation by the CIL Administration Team.

## **8. RECOMMENDATION**

This recommendation is made following careful consideration of all the issues raised through the application process.

For the reasons set out above, it is considered that the adverse impacts of allowing this planning application would significantly outweigh the benefits, when assessed against the policies in NPPF (2021) and Development Plan, when taken as a whole.

### **Refuse planning permission for the following reasons:**

The proposal, by reason of its design, materials, scale and massing, would constitute poor design and a visually incongruous addition to the dwellinghouse, and create a heightened level of perceived overlooking of nearby occupiers. The scheme fails to comply with, in particular, policy LP1 and LP8 of the Local Plan (adopted 2018), policy 28 and 46 of the Publication Local Plan, and the House Extensions and External Alterations Supplementary Planning Document (May 2015).

**Recommendation:**

The determination of this application falls within the scope of Officer delegated powers - YES / NO

**I therefore recommend the following:**

- 1. REFUSAL
- 2. PERMISSION
- 3. FORWARD TO COMMITTEE

This application is CIL liable  YES\*  NO  
(\*If yes, complete CIL tab in Uniform)

This application requires a Legal Agreement  YES\*  NO  
(\*If yes, complete Development Condition Monitoring in Uniform)

This application has representations online (which are not on the file)  YES  NO

This application has representations on file  YES  NO

Case Officer (Initials): PSH

Dated: 20/11/2024

**I agree the recommendation:**

Team Leader/Head of Development Management/Principal Planner - EL

Dated: .....28/11/2024.....

This application has been subject to representations that are contrary to the officer recommendation. The Head of Development Management has considered those representations and concluded that the application can be determined without reference to the Planning Committee in conjunction with existing delegated authority.

Head of Development Management: .....

Dated: .....

|                        |
|------------------------|
| <b>REASONS:</b>        |
| <b>CONDITIONS:</b>     |
| <b>INFORMATIVES:</b>   |
| <b>UDP POLICIES:</b>   |
| <b>OTHER POLICIES:</b> |



The following table will populate as a quick check by running the template once items have been entered into Uniform

## **SUMMARY OF CONDITIONS AND INFORMATIVES**

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### **CONDITIONS**

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### **INFORMATIVES**

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|          |                   |
|----------|-------------------|
| U0095847 | NPPF - Para 38-42 |
| U0095848 | Decision Drawings |