



Project

43 VICTORIA ROAD

*Mortlake,
Richmond upon Thames,
London,
SW14 8EX*

Flood Risk Assessment (FRA)

Planning Application



Studio McW

WorkingFrom_Southwark,
32 Blackfriars Rd, London
SE1 8PB



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Purpose statement

This Flood Risk Assessment relates to the works associated with 43 Victoria Road; the replacement of an existing rear extension in Richmond-upon-Thames. This statement has been prepared on behalf of the applicant.

FLOOD RISK ASSESSMENT

Site

The site lies east of Mortlake railway station and south of the River Thames. According to the Environmental Agency, the site is located in Flood Zone 3. The property is located within the Mortlake conservation area.

Flood Risk Mapping

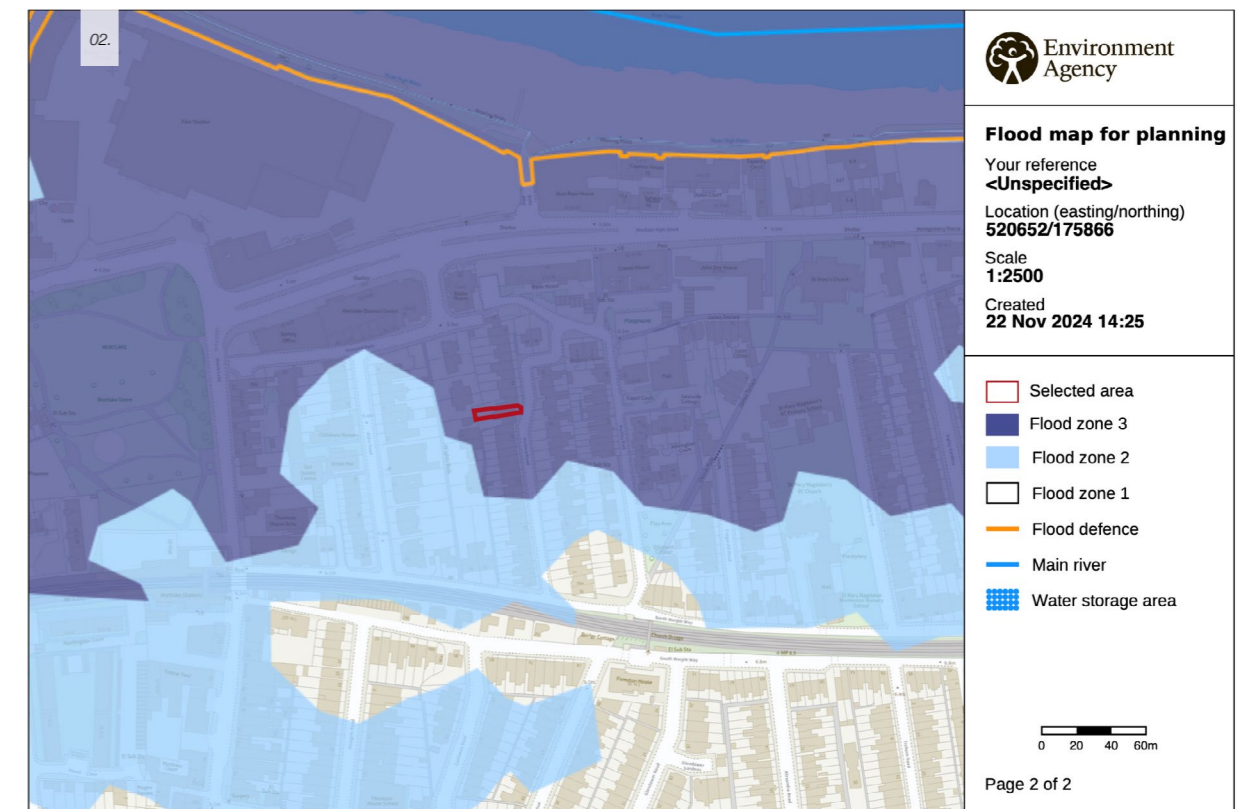
According to the Environmental Agency's (EA) website mapping, no.43 Victoria Road is located in Flood Zone 3.

This application will be submitted alongside the Environment Agency questionnaire for householders covering Householder and other minor extensions in Flood Zones 2 and 3.



Application site

01_ Aerial view of the application site

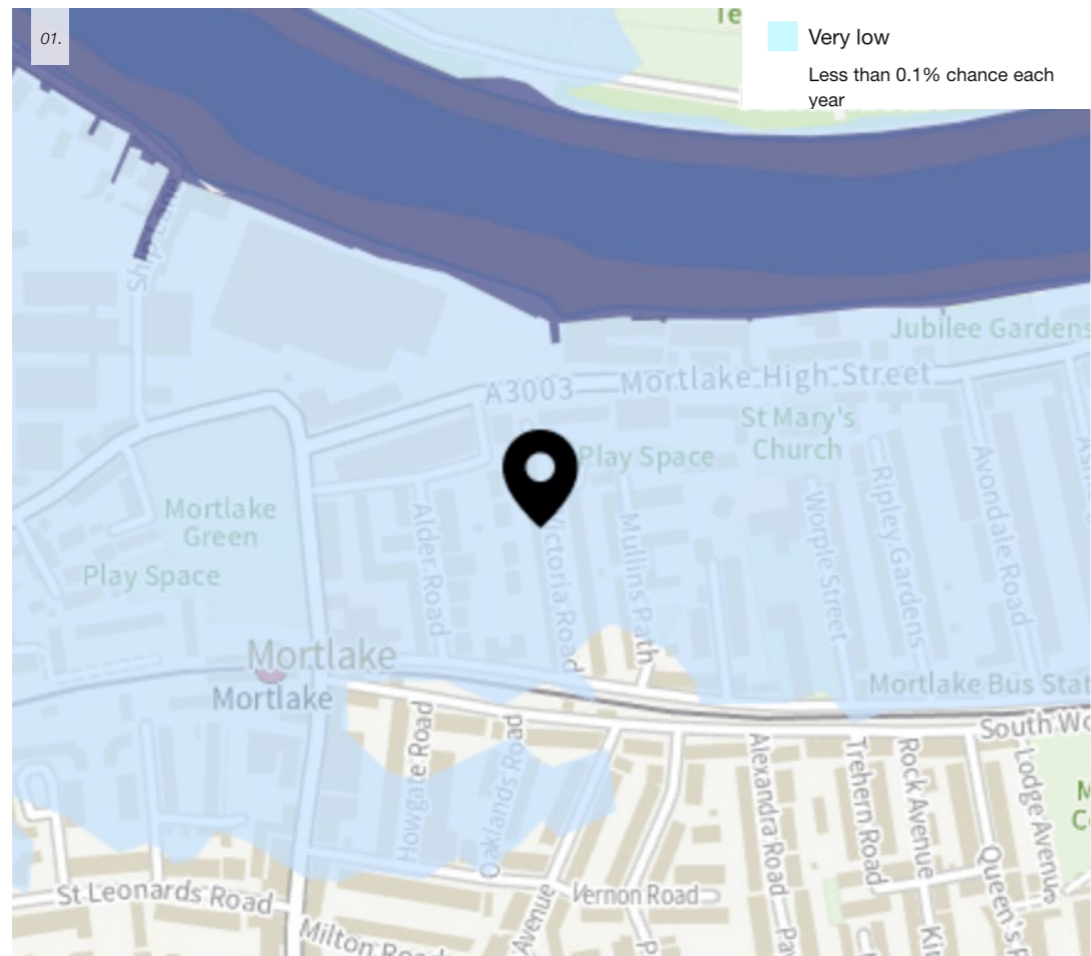


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02_ Environment Agency _ Flood Map

River and sea flood map

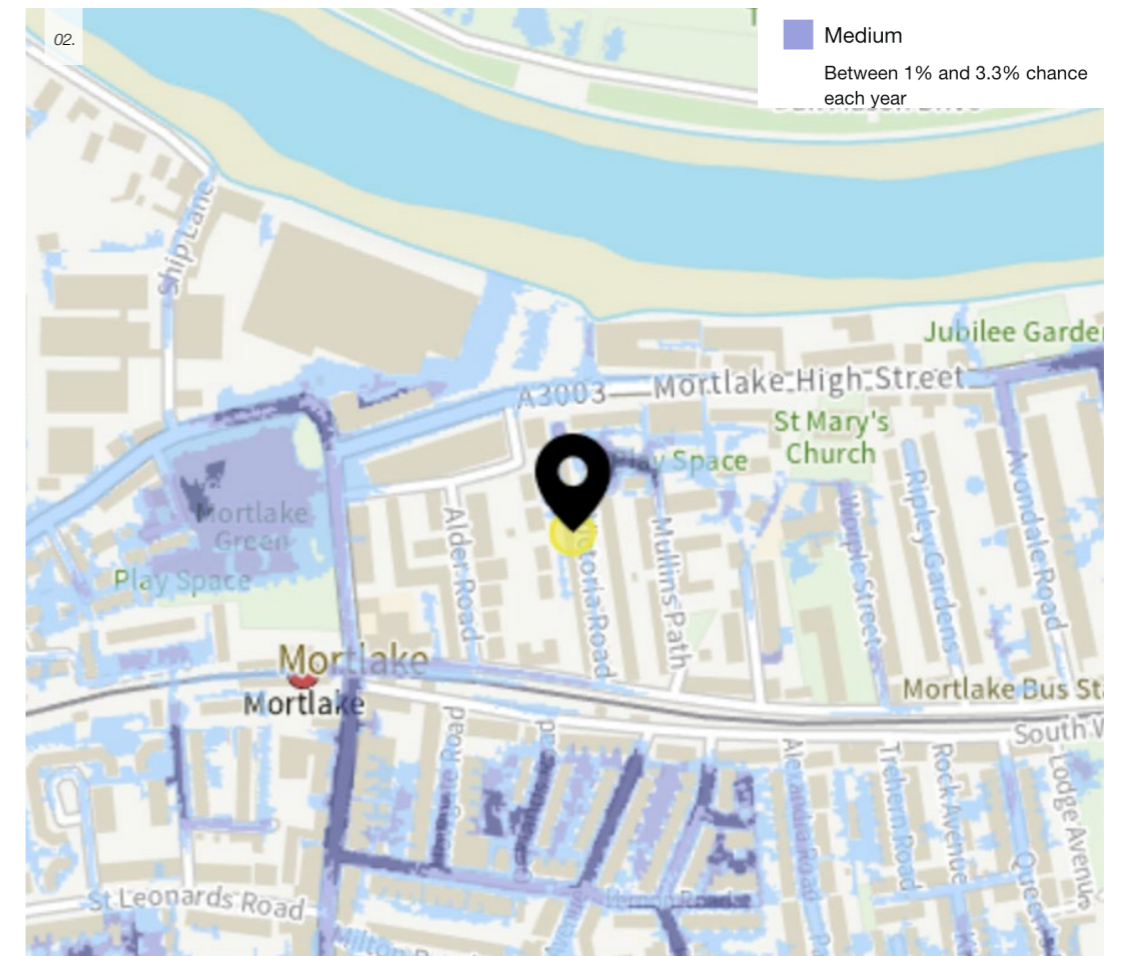
According to the gov.uk website mapping, no.43 Victoria Road is at very low risk of flooding from surface water. This means that the area has a chance of flooding of less than 0.1% each year.



01_ Flood map for rivers and the sea

Groundwater and reservoir flood map

According to the gov.uk website mapping, no.43 Victoria Road is at a medium risk of flooding from groundwater. This means that it has between a 1 and 3.3% chance of flooding each year.



02_ Flood map for groundwater and reservoirs

PROPOSAL

Strategy

The proposal adds less than 11 sqm. of additional footprint to the existing host building.

All junctions between the existing and proposed will be appropriately dressed with flexible waterproofing membranes. The proposed finished floor level does not alter from the existing.

New rainwater drainage channels will be installed to the perimeter of the building to protect all thresholds.

Electrics will be installed top-down where feasible with wall sockets raised as high as practical within the addition and existing alterations.

Where hardscaping is used, permeable paving will be specified to allow for greater surface water drainage.

CONCLUSION

As the site is located in a zone 3 flood risk area, adequate measures will be implemented to reduce the risk of combating flooding of any kind and preservation of infrastructure, aligned with best practice methods for water management. The corresponding forms for flood risk assessment will be submitted alongside this application.

