



Project

**43 VICTORIA ROAD**

*Mortlake,  
Richmond upon Thames,  
London,  
SW14 8EX*

# Design&Access Statement

*Planning Application*



Studio McW

*WorkingFrom\_Southwark,  
32 Blackfriars Rd, London  
SE1 3PB*



Studio McW Ltd is a RIBA Chartered Practice

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### *Purpose statement*

This document outlines the proposal for no.43 Victoria Road, including the replacement of the existing rear extension, the introduction of two rooflights to the main roofscape, and associated internal alterations throughout. The proposal has been designed in a manner that is both sympathetic to the original building and the neighbouring context.

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## BACKGROUND

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### *Aims and objectives*

This DAS forms part of a householder planning submission in connection with the residential development of no.43 Victoria Road.

The proposal offers high-quality GF and FF alterations that enhance the existing building whilst remaining sympathetic to its context & specific character.

The subsequent pages identify the relevant matters of the application, written with due consideration of -

- + *Mortlake Village Planning Guidance (2015)*
- + *Richmond Supplementary Planning Document - Design Quality (2006)*
- + *Richmond Supplementary Planning Document - House Extensions & External Alterations (2015)*

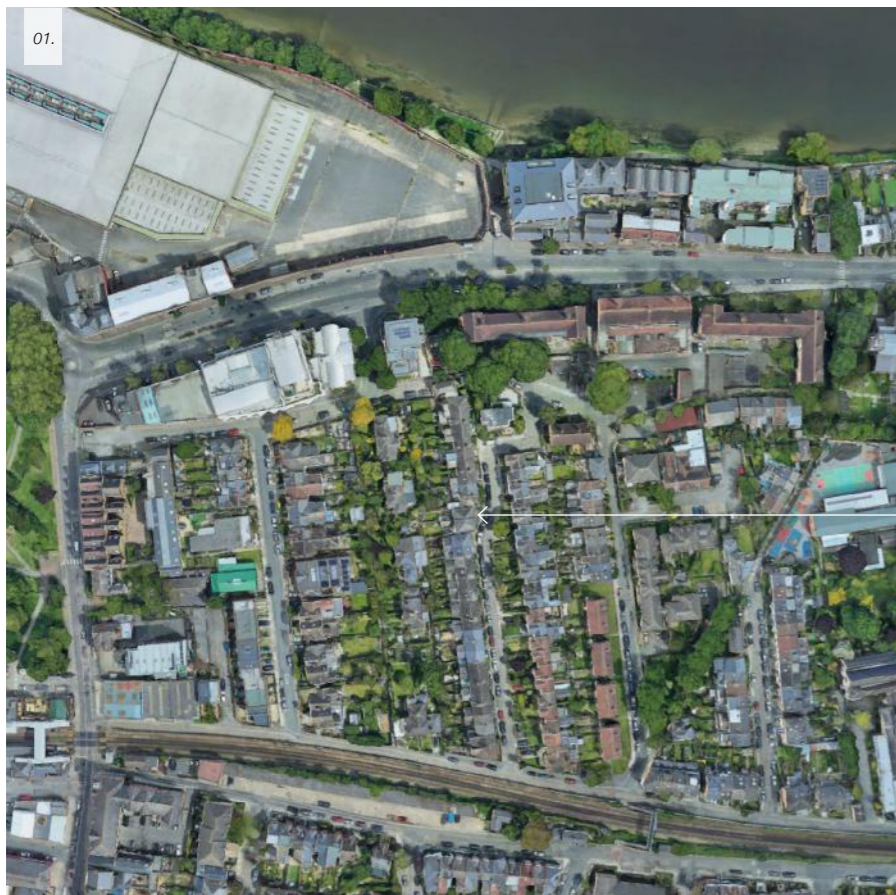
We hope you find this statement informative enough to adequately evaluate the proposal.

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## PROJECT CONTEXT

### Location

The site sits to the east of Mortlake railway station and has close proximity to the River Thames. Many bus routes can be found on Upper Richmond Road, linking the more suburban location with central London. The local area has an abundance of amenities and green spaces such as Mortlake Green and the Thames Path offering scenic routes around the area. The property is located within the Mortlake conservation area, contributing to the historical charm of the surrounding context.



01\_ Aerial view of the application site

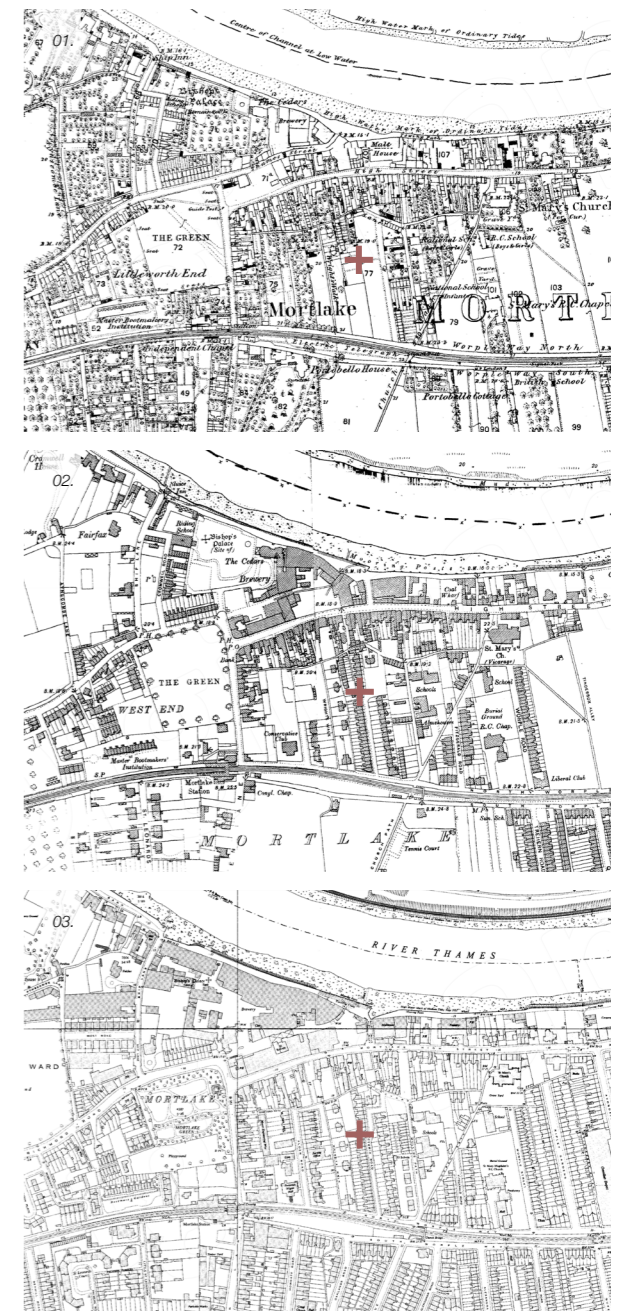
Application site

### Historical development

Victoria Road was developed primarily for residential purposes, with a mix of terraced houses and villas. It was developed as part of the residential expansion of Mortlake in the 19th century, particularly after the arrival of the railway in the area in 1846. This expansion was also influenced by urban planning schemes during the late Victorian and early Edwardian periods, leading to the construction of various housing developments and amenities. The architectural style of houses along Victoria Road reflects the Victorian era's preferences, with many buildings featuring decorative brickwork and generous gardens.

In the 20th century, Mortlake continued to evolve, becoming part of the London Borough of Richmond upon Thames in 1965. Today, the area retains its historical charm while serving as a desirable residential location with a mix of Victorian and modern architecture.

Any alterations to the property have been designed to be read in the wider context as a group of properties within this area of the Borough. The proposal which forms this application has been carefully detailed to have minimal/no impact on the character and appearance of the local street/area.



- + Application site no.43
- 01\_ Victoria Road, early 1860s
- 02\_ Victoria Road, late 1890s
- 03\_ Victoria Road, mid 1950s



## HERITAGE

### *Mortlake Conservation Area*

#### + Mortlake Conservation Area Statement

The conservation area shares an intimate relationship with the Thames. Along the river frontage, between Chiswick Bridge and Ship Lane, is a particularly fine group of essentially 18th century buildings, with at least one dating from the Tudor period. The 19th and 20th century development has respected the style and scale of the group.

Fitzgerald Road and Alder Road contain matching terraces of two storey brick cottages, similar to the rest of the village area. Original architectural details include ground floor bay windows with decorative metalwork, roofs laid in diamond pattern slate, timber bracketed porches and chimneys with corbelled and dentilled brick work. Alder Road contains several semi-public buildings historically associated with the village. The development of the western side of White Hart Lane continues the plan form of the development of the area during the late 19th century to the early 20th century. The buildings are Edwardian in style and contribute to the relationship with the larger Edwardian Mansion blocks along the High Street.

### *Conservation Area Map*



## DESIGN

### *Appraisal*



- no.43 site boundary
- Original property massing
- Proposed additional volume
- > Possible overlooking
- - Rear building lines

### *Considerations*

#### Neighbouring Outlook and Sunlight

Due consideration has been given to the visual amenity of neighbouring windows and openings (how the proposal falls within policy is described in detail further in the document) and also their access to sunlight. This has dictated the placement and size of any alterations to ensure the privacy of the neighbours and occupants is maintained.

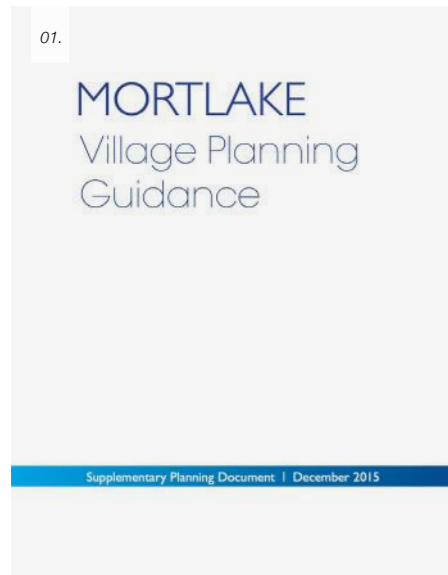
#### Building Lines

The adjacent diagram takes reference lines from the neighbouring properties along Victoria Road. This informs the extent to which the proposed works project from the existing property, and also aligns with the existing rear extension which is to be demolished.

It can be noted that a number of the properties have single-storey rear extensions in the immediate context, which set precedent in terms of ascertaining an appropriate scale and mass.

## RELEVANT PLANNING POLICY

### Key Literature

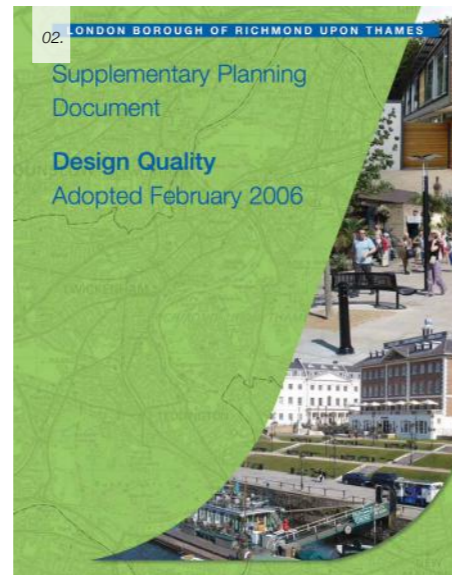


Mortlake Village Planning Guidance (2015)

The purpose of the Village Planning Guidance SPD is to establish a vision and planning policy aims for, and assist in defining, maintaining and enhancing the character of Mortlake Village. This clarifies the most important aspects and features that contribute to local character.

The conservation area assessments sub-divide the village by grouping properties where a large proportion have similar characteristics, features and materials. Most notably, three chapters will guide the development of no.43 -

- + Section 5: Objectives
- + Section 6: Conservation area 1
- + Section 7: Features & Materials

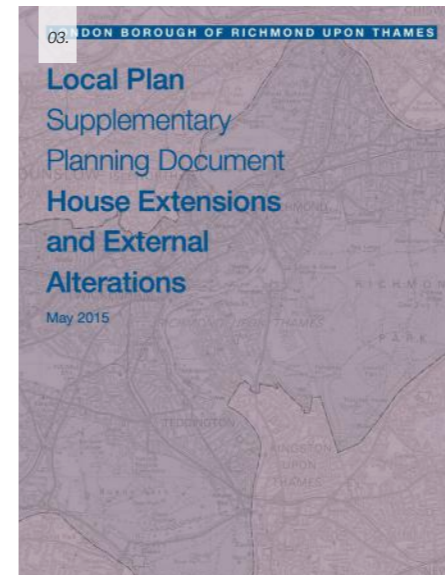


Richmond Supplementary Planning Document - Design Quality (2006)

The Richmond Design Quality SPD aims to campaign and illustrate high standards of design and what is achievable, alongside setting design parameters for developers and improve the standard of planning applications.

As an adopted planning document it is a material consideration when determining planning applications and may be used to refuse development on the grounds of poor design. Most relevant to the development of no.43 are listed below -

- + Chapter 2.2: Scale
- + Chapter 2.2: Detailing
- + Chapter 2.2: Materials
- + Chapter 3.3: Urban Form & Character Areas - Mortlake and East Sheen



Richmond Supplementary Planning Document - House Extensions & External Alterations 2015

This SPD aims to provide a clear set of guidelines with appropriate illustrations of how changes such as side and rear extensions should be designed. The examples are only indicative of the Council's approach and are not intended to stifle sensitive and imaginative design. In conservation areas and buildings of townscape merit, greater care and attention is required and more restrictive policies may apply.

- + Section 3: Impact on Residential Amenity
- + Section 4: Guiding Principles
- + Section 5: Side & Rear Extensions
- + Section 8: Roof Extensions
- + Section 9: Detailed Advice

## RELEVANT PLANNING POLICY

### Relevant policy

London Borough of Richmond Upon Thames, House Extensions and External Alterations (2015)

#### Policy 3.1 - Visual Intrusion and Sense of Enclosure

“Extensions that create an unacceptable sense of enclosure or appear overbearing when seen from neighbouring gardens or rooms will not be permitted. This could be due to the height, footprint or proximity of the proposals to the surrounding area.”

The effect of a single storey extension is usually acceptable if the projection is no further than:

- 3m for a terraced property
- 3.5m for a semi detached house

However, the final test of acceptability will depend on the particular circumstances of the site, which may justify greater rear projection.

For example, distances from the boundary and neighbouring properties; height adjacent to the boundary; use of materials and layout of the neighbouring sites.

Infill extensions to Victorian properties are fairly typical around the borough. In such instances, where the depth exceeds that outlined above, the eaves height should be limited to 2.2m to mitigate the sense of enclosure.

\*\*\*

In order to align better with the layout of the neighbouring properties of no.41 and no.45, the building line of each has informed the extent to which the proposed rear extension projects, re-introducing visual harmony to the rear and negotiating the step in the building line.

#### Policy 3.2 - Privacy and Space Between Buildings

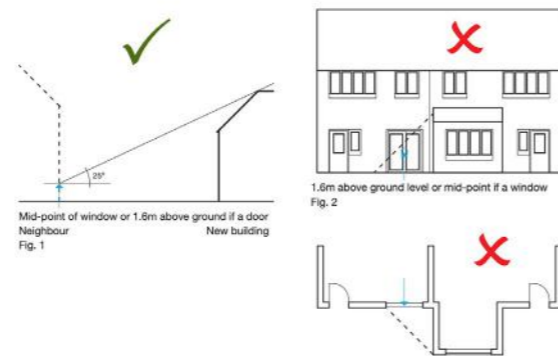
“A new extension should not result in any substantial loss of privacy to adjoining dwellings and gardens to prevent overlooking.”

“Windows should either be high level (1.7m above floor level), obscure glazed or omitted from any wall directly facing a neighbouring house or garden.”

#### Policy 3.3 - Sunlight and Daylight

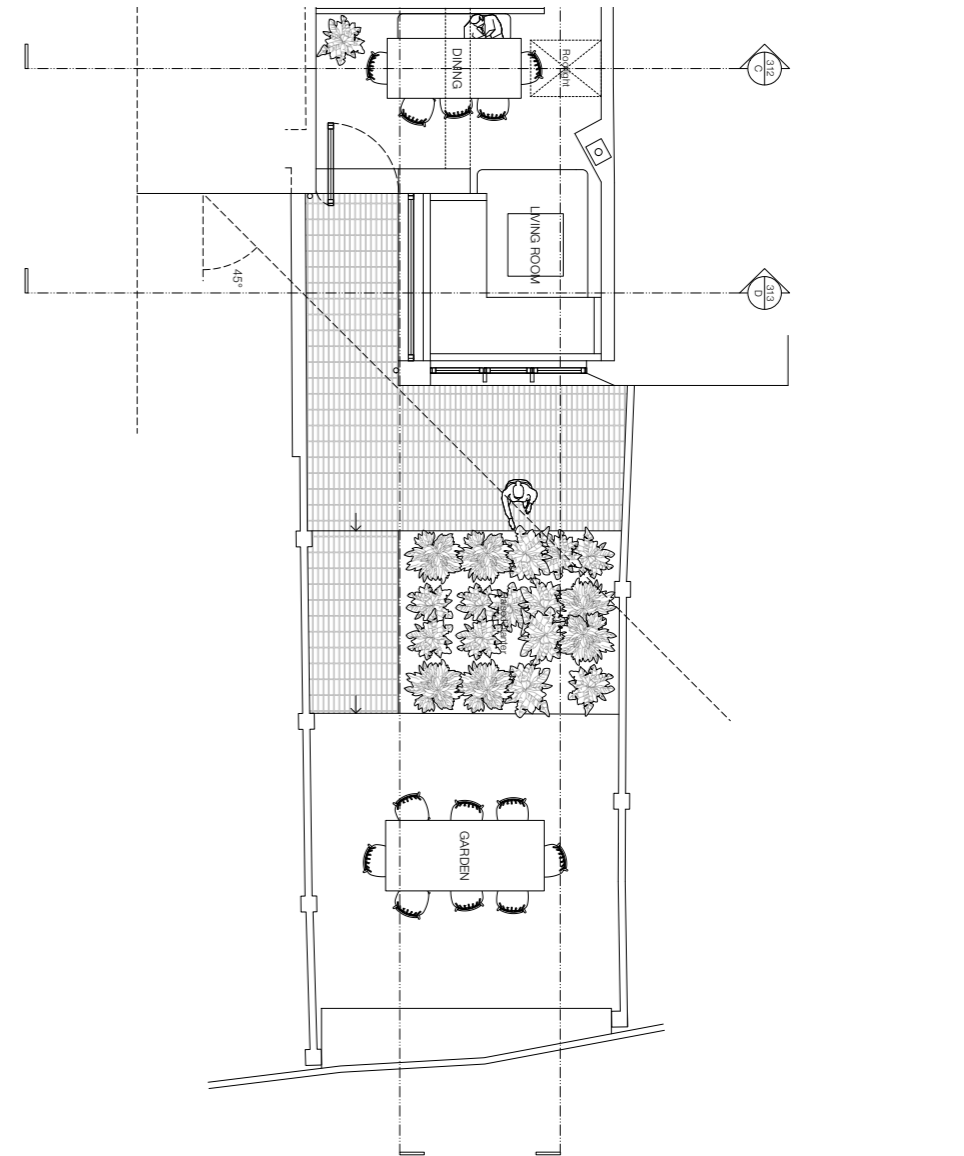
“Residential development should create good living conditions and should not cause any significant loss of daylight or sunlight to habitable rooms or gardens in neighbouring properties.”

“Extensions should pass the BRE assessments which include the 25 degree and 45 degree tests. In figure 1 the new building passes the 25 degree test. In figure 2 the new extension is too close and too high to pass the 45 degree test.”



\*\*\*

In order to align with the scale, height and density of the local area the massing has been reduced as much as possible both in terms of width, height and projection, and passes the 25 and 45 degree tests from neighbouring properties.



01\_ 45 degree test from centre of neighbouring property glazing



## RELEVANT PLANNING POLICY

### *Relevant policy*

#### Policy 5.2 - Form, Scale and Location

*“The overall shape, size and position of side and rear extensions should not dominate the existing house or its neighbours. They should harmonise with the original appearance, which should be taken as the starting point for future changes.”*

#### Policy 5.4 - Windows

*“Windows are important features and an inappropriate choice can easily spoil an otherwise satisfactory design. Adding an extension with different windows from those used on the original house may provide for a particular need but will do little to create a well mannered unified exterior ”*

*“Maintain consistent detail - In most cases use the same kind of window throughout, with the proportions and sizes of new window openings echoing those of the main house.”*

*Maintain consistent style - Changing the internal divisions (mullions, transoms and pane shapes and sizes) within the window can completely alter the effect of the overall proportions. Ensure that new windows reflect the style and details of the existing windows.*

\*\*\*

The proposal has taken a considered and restrained approach to the location, form and scale of extensions so to ensure any alterations are subservient to the host building.

The established building lines/flank elevation lines from the neighbouring properties have been used as a reference to build from, therefore not impacting upon the density of development and in-keeping with the scale of the immediate context.

#### Policy 8.2 - Roofs

*“The choice of roof is very important because the type will determine the overall shape of the extension.”*

*“Match existing materials - With pitched roofs the colour and shape of new tiles or slates should match those of the existing roof..”*

*“Decorative ridge tiles and roof tile patterns should be retained. If gutters or water pipes need replacing, use black rather than grey.”*

#### Policy 9.1 - Materials

*“In general, a standard condition of a planning permission will require that the materials used on the external elevation shall match those of the existing building.”*

*“Integrate to existing - External materials should normally match those already found on the house. The aim is to integrate the extension with the original house keeping the number of materials used to a minimum. Avoid unrelated incompatible materials”*

*“Match existing work - It is important with brick extensions to match the mortar colour, bonding and pointing”*

#### Policy 9.2 - Details

*“Retain any decorative and ornamental architectural details”*

*“The position of rainwater pipes and gutters, and the continuation of plinths, brick string courses, fascias and other details, must not be overlooked if an extension is to be visually successful”*

\*\*\*

The proposed works will match the existing roof in colour, material and pattern. Where gutters/water pipes are introduced, black is specified.

London stock brick is specified, aiming to create a seamless introduction of the extension with the main house. Soldier courses are used as a contemporary addition to compliment the soldier course lintels on both adjacent and main properties.

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**PLANNING PRECEDENT**

*Examples in the locale: extensions & alterations*

The following applications provide examples of extensions/alterations in the area.

This provides context and the precedent of design language established within the local area.

21/0080/HOT | 61 Victoria Road

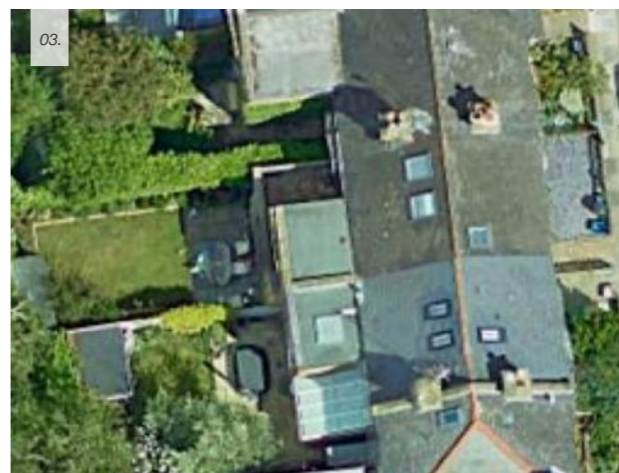
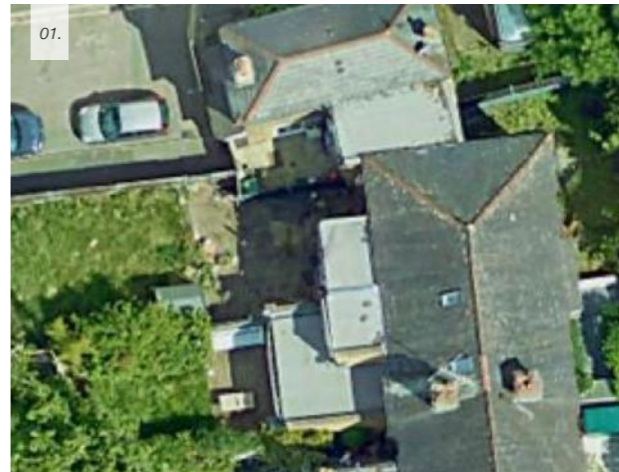
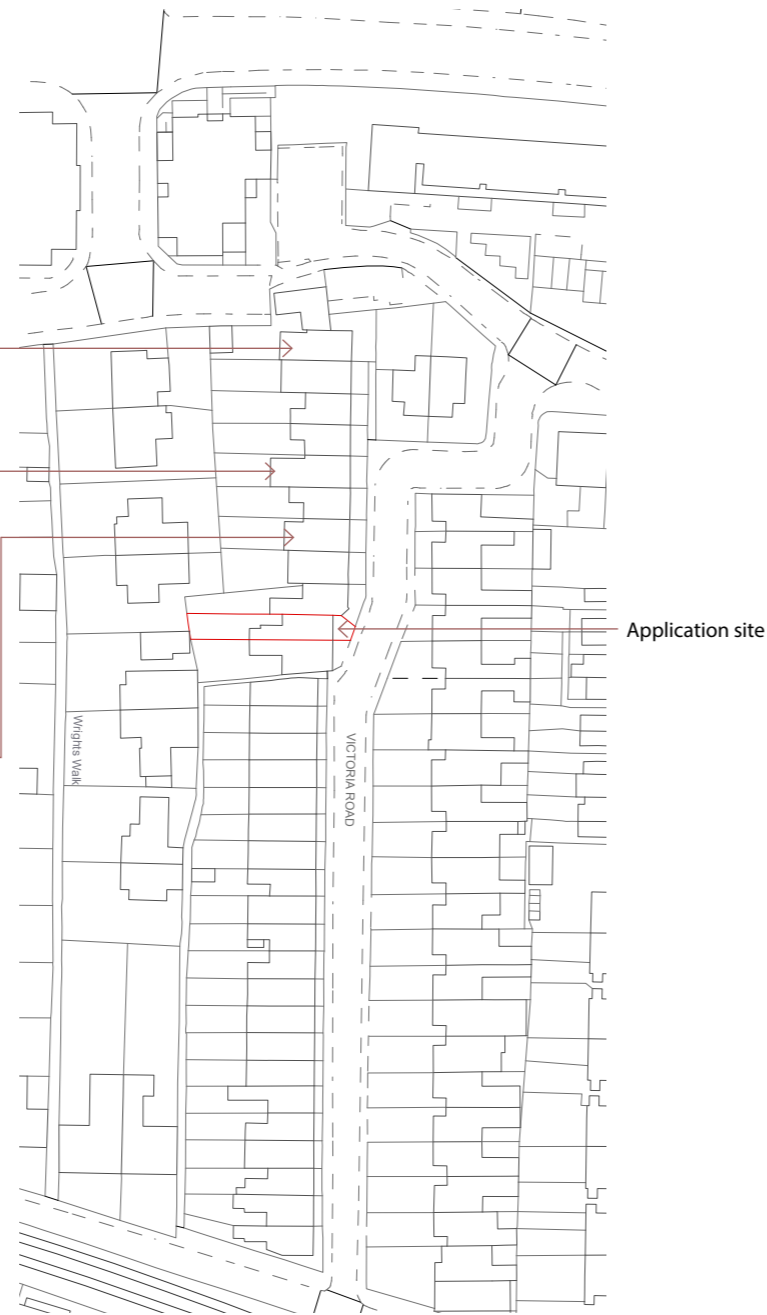
*'Single storey rear extension with a flat roof having two sky lanterns'*  
Granted

19/2162/HOT | 53 Victoria Road

*'Demolition of existing conservatory and construction of a new single storey rear extension to a terraced residential house.'*  
Granted

11/4097/HOT | 49 Victoria Road

*'Part single, part two storey rear extension, involving removal of existing rear annexe and store and conversion of loft space to existing building for habitable use with conservation rooflights to front and rear.'*  
Approved



01\_ no.61 Victoria Road  
02\_ no.53 Victoria Road  
03\_ no.49 Victoria Road

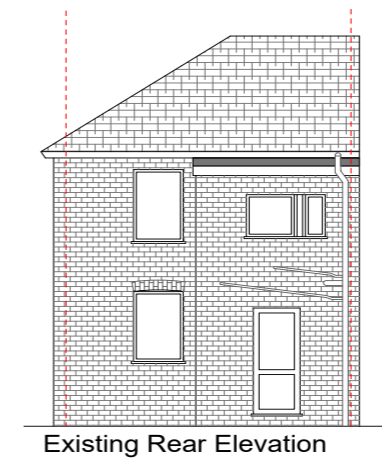
**PLANNING PRECEDENT**

*Examples in the locale: planning references*

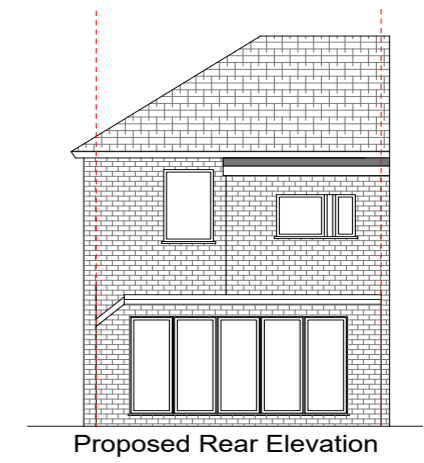
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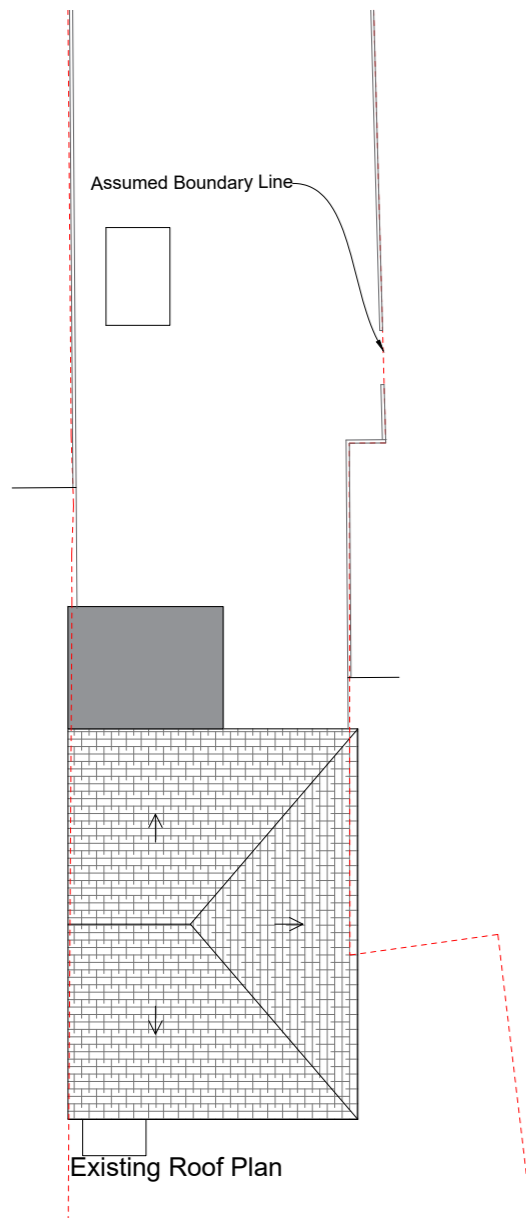
Granted



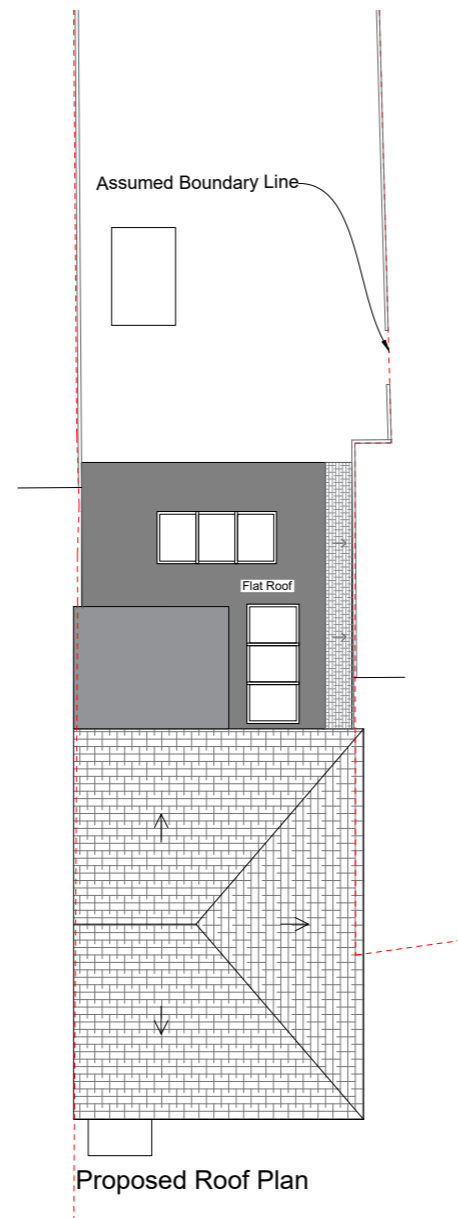
Existing Rear Elevation



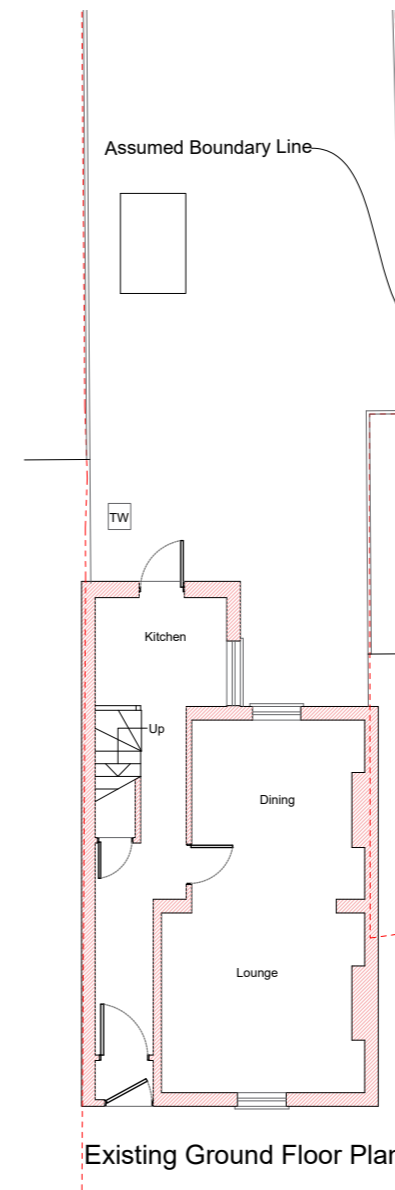
Proposed Rear Elevation



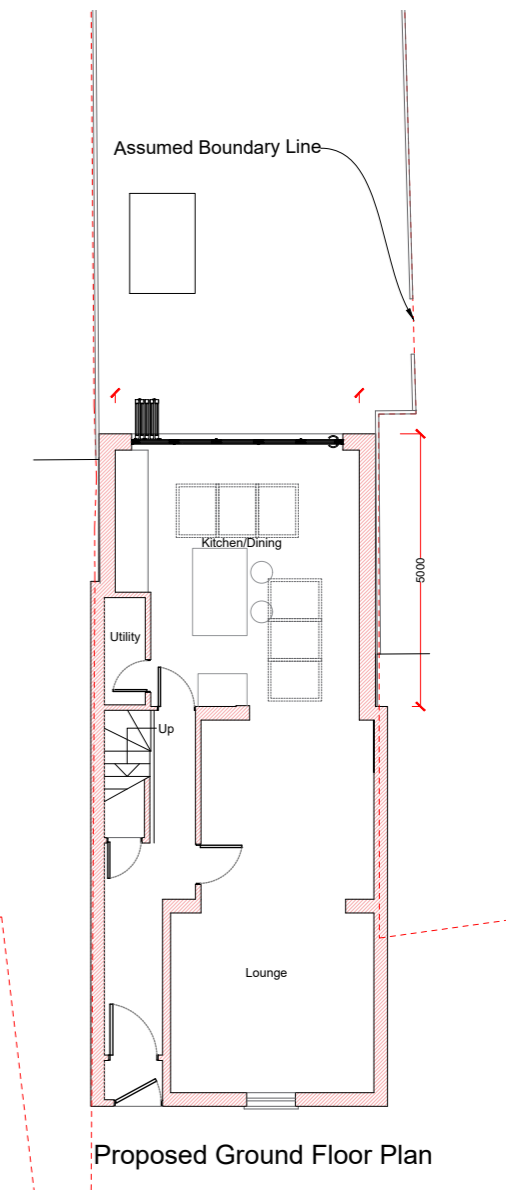
Existing Roof Plan



Proposed Roof Plan



Existing Ground Floor Plan



Proposed Ground Floor Plan

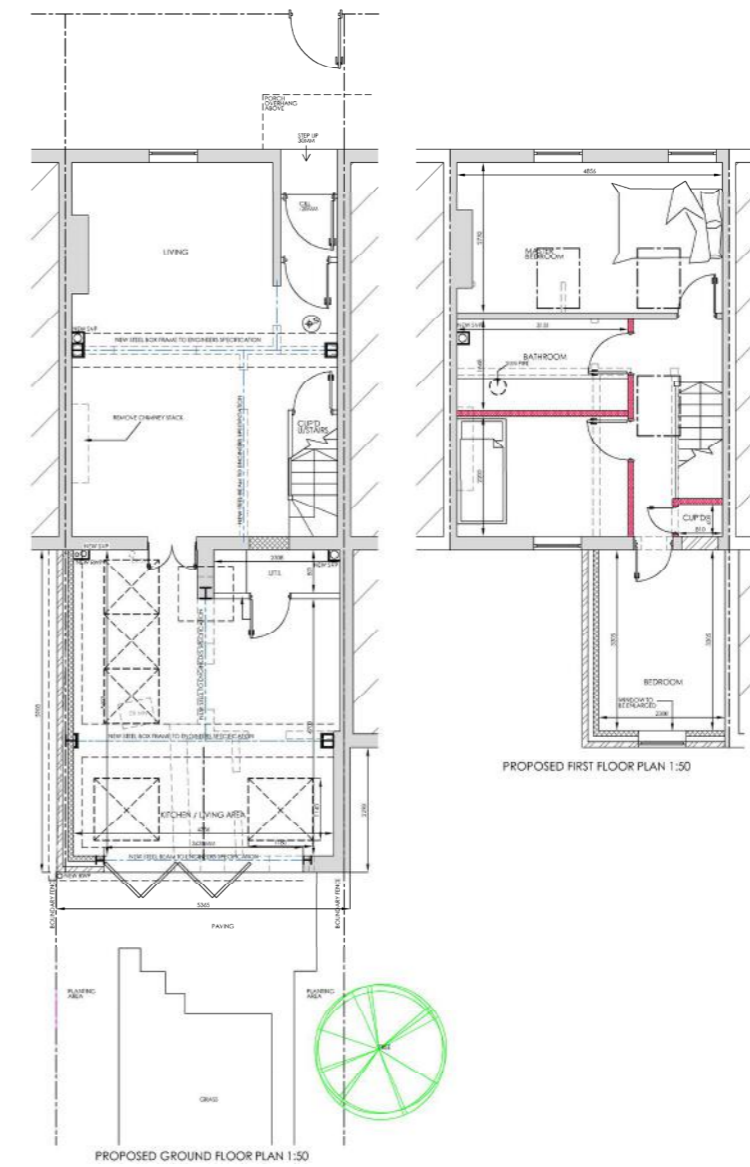
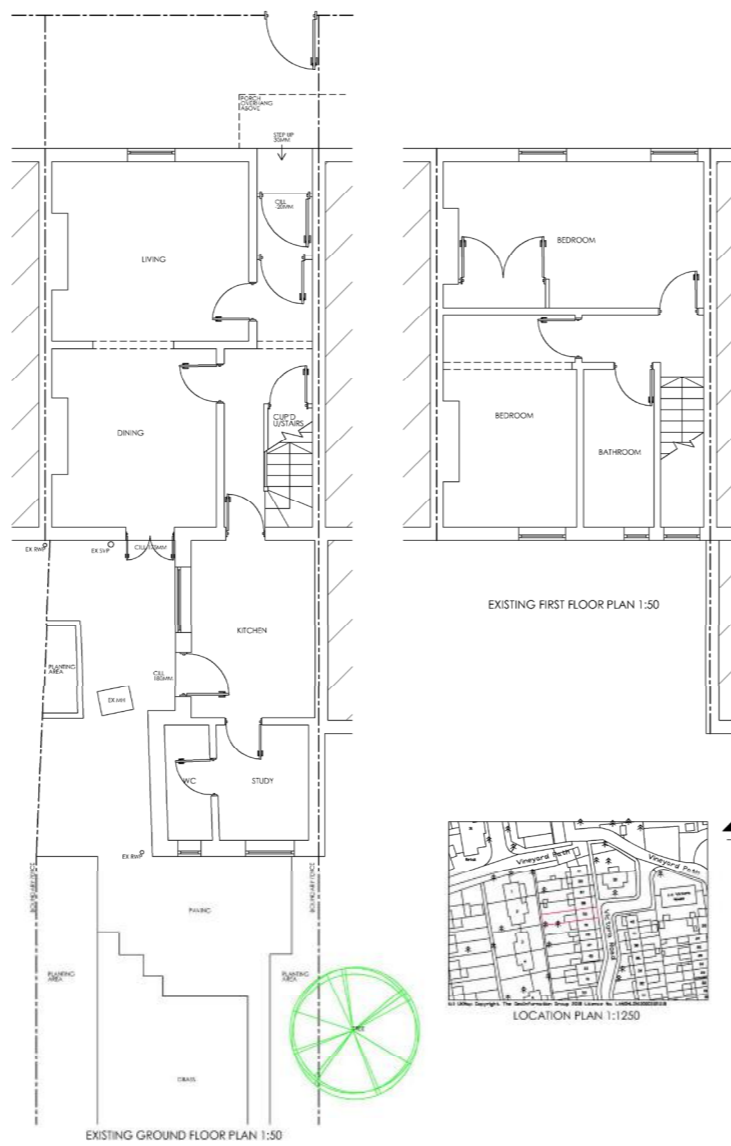
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*Examples in the locale: planning references*

19/2162/HOT | 53 Victoria Road

*'Demolition of existing conservatory and construction of a new single storey rear extension to a terraced residential house.'*

*Granted*





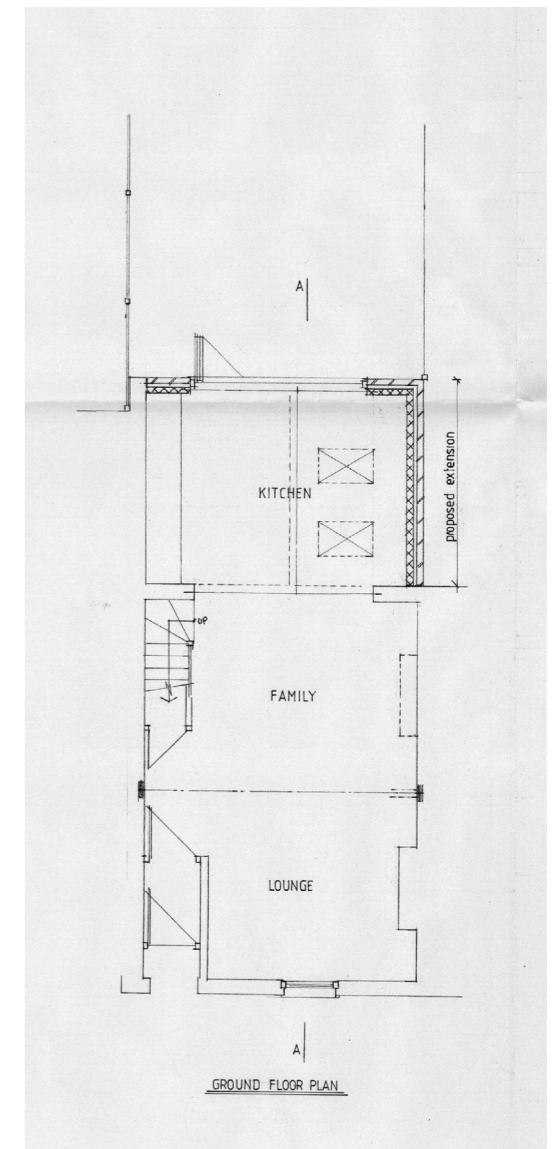
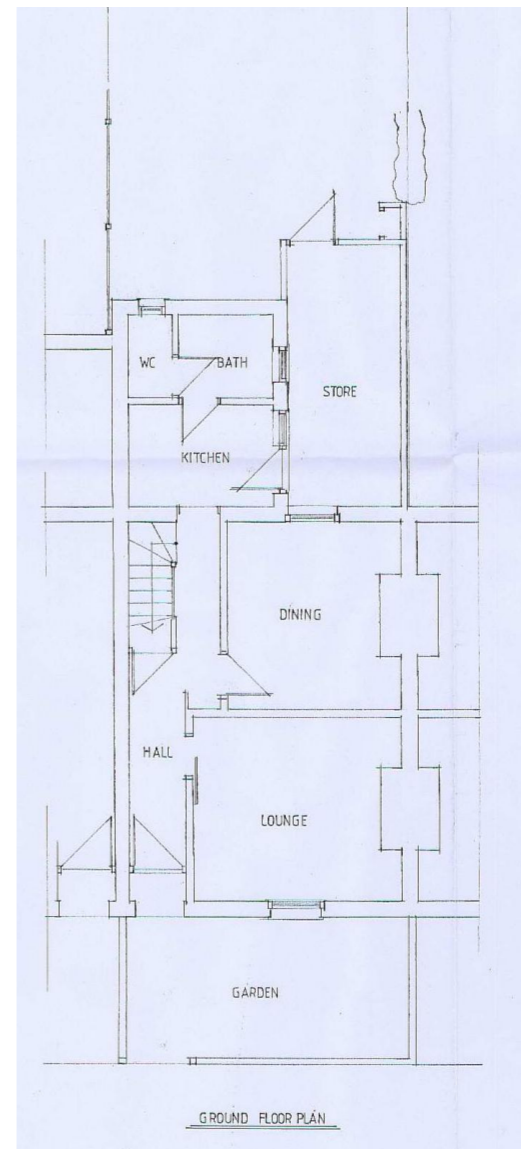
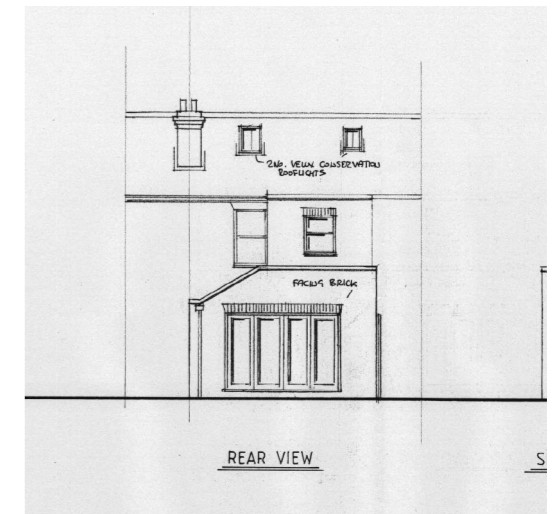
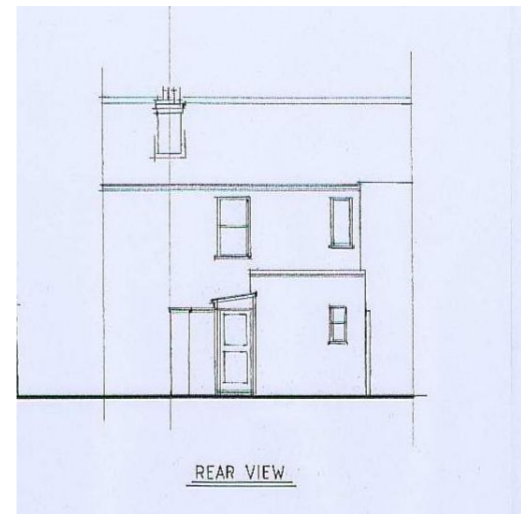
## PLANNING PRECEDENT

### *Examples in the locale: planning references*

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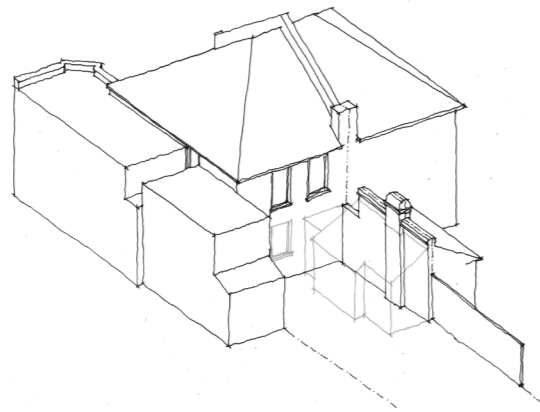
*'Part single, part two storey rear extension, involving removal of existing rear annexe and store and conversion of loft space to existing building for habitable use with conservation rooflights to front and rear.'*

*Approved*



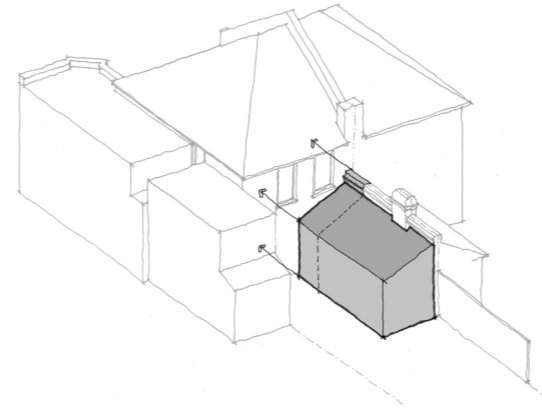
## PROPOSAL

### *Design development*



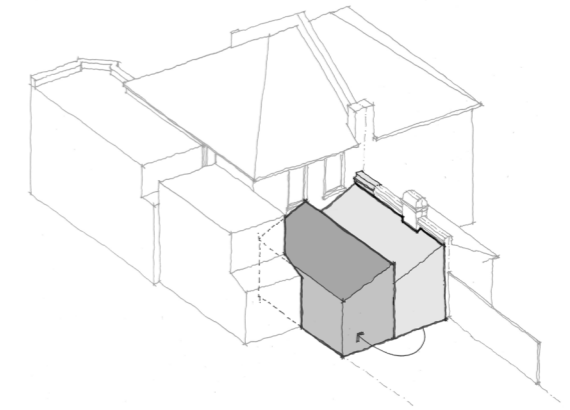
#### *01\_ Removal of existing elements*

Demolition of the existing poor-quality GF rear volume.



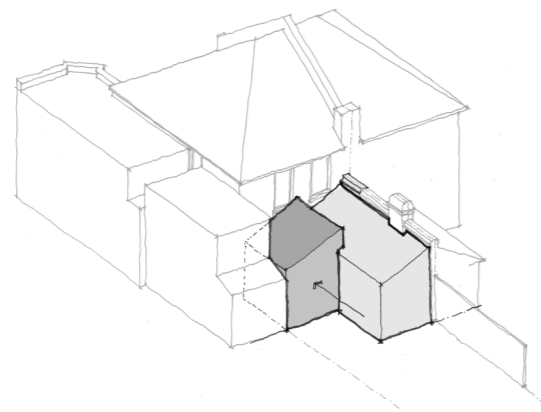
#### *02\_ Establishing the pitch & parapet*

Defining a pitch and extension of the existing parapet, referencing the neighbouring context and existing structure.



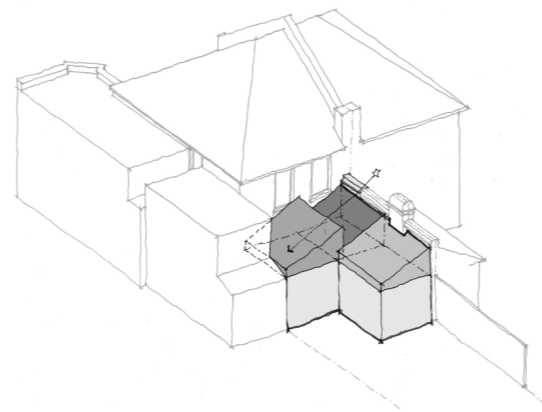
#### *03\_ Duplicating the form*

Referencing the height constraints of neighbouring property, developing a sensitive intervention in traditional context.



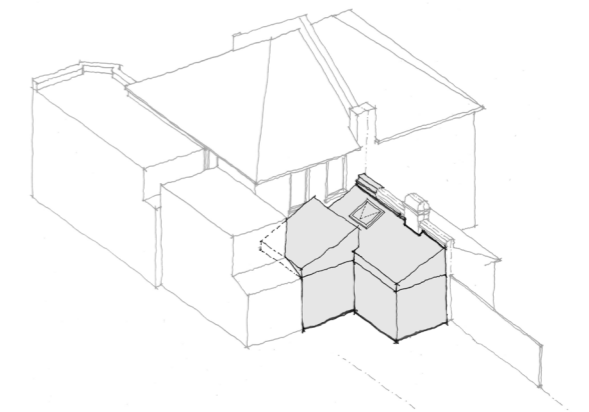
#### *04\_ Alignment with surrounding context*

Establishing a considered volume and extent for the GF addition, referencing the line of existing structures and providing a unified design language.



#### *05\_ Using volumes to define space & light*

Introducing clerestory glazing to the second volume, Considering internal space co-ordination with corresponding ceiling height..



#### *06\_ Collating the forms*

Merging the volumes in turn informs the use of both internal and external spaces and governs where top light is required in the form of a rooflight.

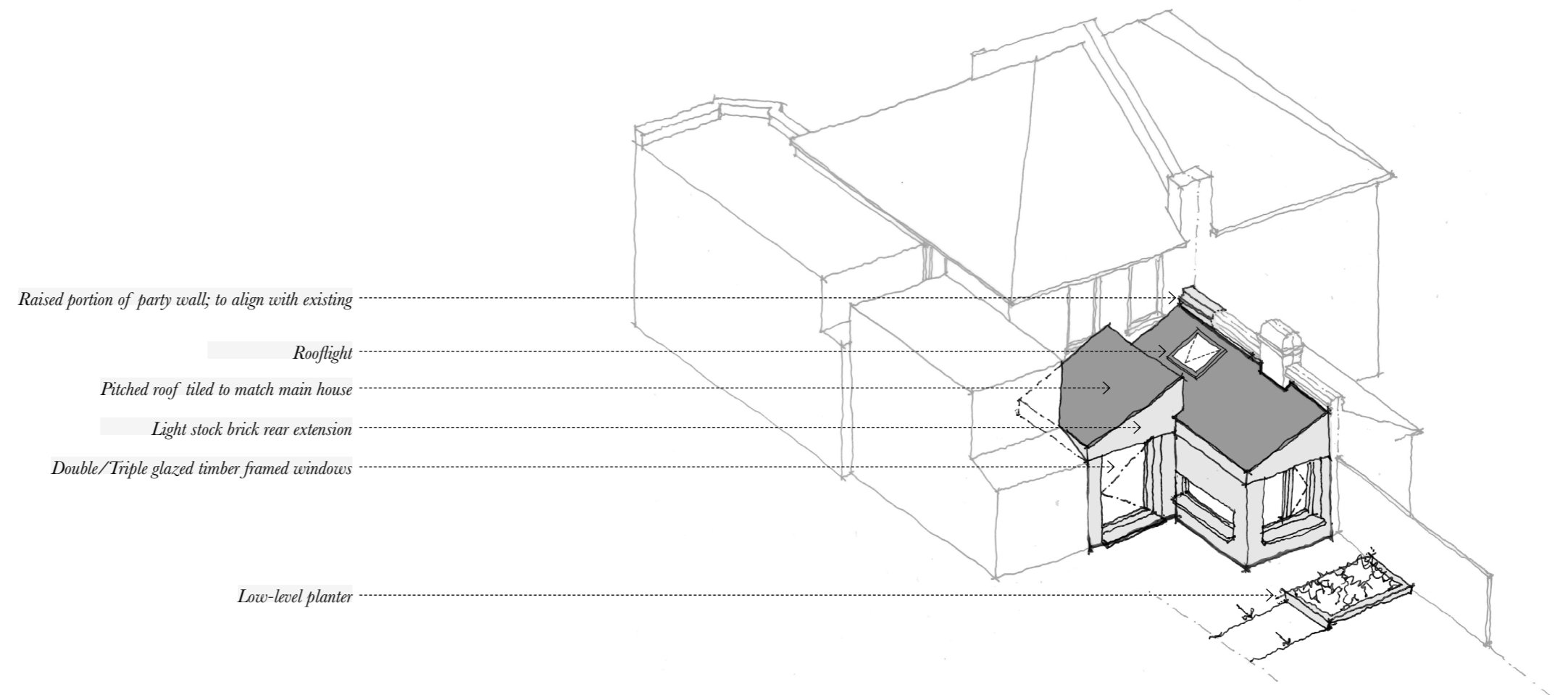
## PROPOSAL

### *Overview*

The proposed extension reinterprets the existing pitched forms, whilst providing additional internal space and volume that responds to, and rationalises, neighbouring building lines and heights.

A sensitive and considered material palette references the existing host building and neighbouring context.

Apertures and rooflights have been carefully considered to provide natural light without overlooking neighbouring properties.

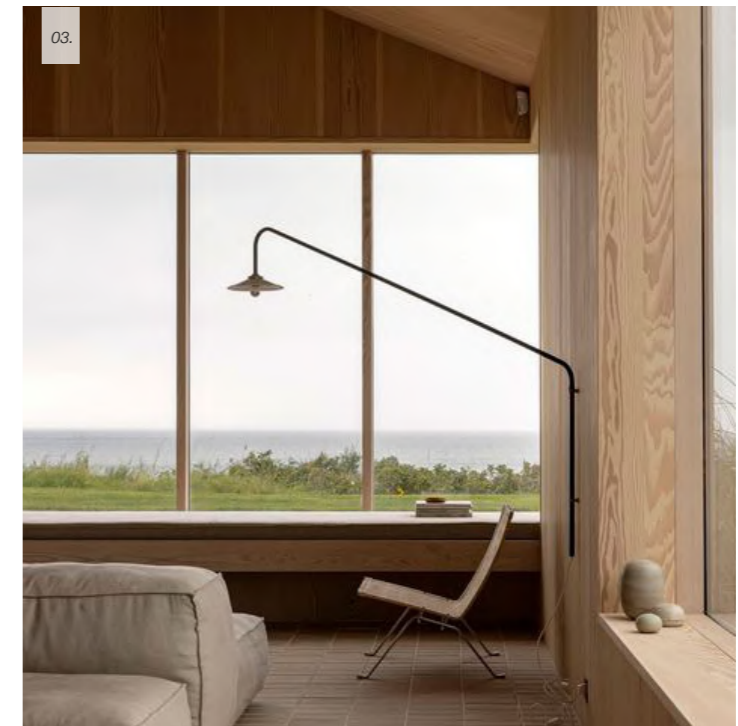




## PRECEDENT

### *Architectural*

The below and adjacent precedent studies reflect the design principles of the anticipated GF rear extension, including pitched volumes, clerestory glazing, a simple brick facade and timber framed doors/windows.



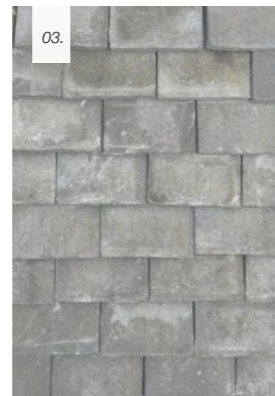


## PRECEDENT

### *Material*

Following local policy, the selection of materials has been driven by our intention to ensure that the alterations do not cause an overbearing presence and remain subservient to the existing building. The proposed materials will be in keeping with the existing surrounding material palette and that of the existing property.

Landscaping will be improved with new paving and raised planting.



01\_ London stock brick  
02\_ Timber window profiles  
03\_ Slate tiles (to match existing)



05\_ Rendered rear elevation indicating design intent and subservience to host building  
06\_ Existing rear elevation.



## SUSTAINABILITY

### *Sustainability in design*

A dedicated approach to sustainability within the early stages of this project has allowed for the integration of a variety of sustainability benefits. The environmental impact of the property is to be significantly reduced by considerations not only of renewable energy sources, but also of thermal efficiency of the building fabric, the internal configuration of spaces, and the selection of particular materials -

#### Design Ethos

+ *The design ethos of the development adopts a 'light-touch' approach throughout - with minimal structural alterations to the existing property. This reduces reliance/requirement for excessive sub/superstructure works. This therefore reduces the amount of carbon-intensive materials such as steelwork being used.*

#### Thermal Efficiency

+ *Windows throughout extension thermally broken and fully sealed double/triple-glazed units seek to limit thermal fluctuations, as well as double or tripled glazed roof lights.*  
+ *Existing services will be upgraded to improve efficiency and reduce reliance on unsustainable fuel sources.*

#### Material Selection

+ *It is intended that mineral wool and/or hemp that uses natural fibres will be specified for the insulation; the lower amount of energy and carbon used in the manufacture of such materials will reduce the embodied carbon of the property.*  
  
+ *Where possible, locally-sourced materials will be specified to reduce embodied carbon in transportation.*  
  
+ *Clay plaster - used in place of traditional gypsum plaster skim internally is also intended; manufactured from natural materials, it is recyclable, compostable and reusable. It also offers health benefits as a breathable material that naturally regulates the relative humidity of spaces, improving user comfort.*

#### Environmental Strategy

A cohesive and sustainable environmental strategy underpins the development of the extension. It considers the environmental performance of the building both in the short term and long into the future.

Natural materials utilised will be specified from sustainable sources and suppliers with the appropriate accreditation.

The external windows and doors will be double- (or triple-) glazed, and will be thermally broken to assist in reducing their u-value. All elements of the external envelope of the house will be detailed and their execution monitored on site to help ensure that air leakage and hence heat-loss from the house is kept to a minimum.

High-performance cavity insulation to the extended areas will be added to assist in boosting the property's thermal performance.

The use of clerestory glazing and rooflights has been designed in such a way to allow natural light to flow within the deeper, central part of the plan, requiring as little artificial lighting as possible even during the darker months of the year.

## ACCESS

### *Strategy*

The site lies north east of Mortlake railway station and to the west of Mortlake bus station, benefiting from an abundance of amenities and transport links in the area. The property is conveniently located a 3 min. walk from Mortlake railway station.

At the micro scale, the property can be reached via a public road (Victoria Road) with pedestrian routes and parking provisions on either side. The property does not feature off-street parking, however Victoria Road features dedicated on-street parking.

The proposed works, as detailed within the drawings submitted as part of this application, will not affect front access to the property. There will also be no change in step access.

The principal entrance at ground floor serves the property, where access to the garden is achieved through the property. The principal entrance will remain unchanged, and larger access doors will be provided to the garden as part of the rear alterations.



*01\_ Primary access to the property from Victoria Road; with street parking shown in front of the front garden.*

*The central gate provides access from the street.*

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### *Summary*

The redevelopment of no.43 Victoria Road proposed by this application represents an intervention that will enhance the heritage of the existing building while remaining sympathetic to its context.

The works propose an extension which is not intrusive upon neighbouring residences, and seeks to rationalise the building line between adjacent properties.

We believe that the design has been carefully developed and attractive - pleasing in composition, materials and craftsmanship, whilst responding well to the site context and remaining sympathetic to the existing property and precedent of development on the street. With this in mind, the impact on the existing property and wider borough can be considered a net-positive contribution.

We endeavour to engage in discussions with the London Borough of Richmond upon Thames planning authority throughout the process to ensure any development does not negatively impact upon the character of the local area.

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