



Flood Risk Assessment

139 Petersham Road

Richmond

London

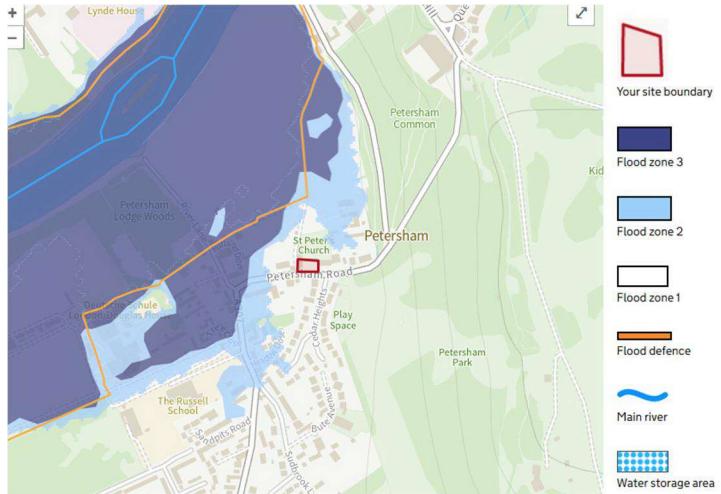
TW10 7AB

On behalf of

Mr Grant

The application site is located within the boundaries of Richmond Upon Thames Council. According to the environment agencies flood map, the application site is situated within Flood Zone 1 as shown below.

The host dwelling does not lie within the flood zone as demonstrated below. The surrounding area is susceptible to surface water drainage.



The proposed application is for an extension to the property located at X:518143, Y: 173309. Foul drainage is not applicable.

All surface water to be discharged into soak away or existing onsite gully.

As far as the applicant is aware the property has no history of flooding.

The proposed free standing orangery/pool room will be erected to the eastern garden area of the property.

The floor levels of the proposed orangery will not be set lower than the existing floor levels of the host dwelling.

There are no proposed landscaping works.

Proposals: This application seeks consent to erect a timber orangery/pool room in the private garden area of the host dwelling. The proposed extension would be constructed using water resilient materials and also retain the existing on site method of surface water disposal.

All electrical sockets will be set at a minimum of 450mm above ground floor level to provide a flood resilient dwelling.

It is not considered that any further SUD's Sustainable Surface Water drainage will be necessary.

Flood Mitigation Notes: The existing level of the site would remain as existing. All ground cover to remain as existing. Internal floor levels to remain as existing.

Conclusion: All proposed surface water will be controlled as per the existing arrangement or soak away. We are of the opinion that that these proposals would not increase the risk of flooding elsewhere.