

Richmond Team Ministry

Design and Access Statement

Church Walk

Richmond

London

TW9 1SN

December 2024

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Contents

1. Introduction	4	7. Appendix	24
1.1 Executive Summary	4	7.1 Approved Existing and Demolition Drawings	25
2. The Practice	5	7.2 Approved Proposed Drawings	29
2.1 Sample of Works	5	7.3 Planning Approval Letter	34
3. Site Analysis	7		
3.1 Location	8		
3.2 Site Identification	9		
3.3 Site Identification: Parish Rooms	10		
3.4 Site Identification: Church Cottage	11		
3.5 Existing and Demolition Drawings	12		
4. Proposal	16		
4.1 Overview	17		
4.2 Proposed Drawings	18		
5. Materials	23		
6. Access	23		

1. Introduction

1.1 Executive Summary

This Design and Access Statement accompanies an application to vary the approved drawings and description of development of the application 23/3186/FUL approved on 22nd February 2024 (please refer to the appendix for the approved drawings and planning permission letter).

The purpose of this application is to:

1. Amend some very minor matters which have arisen from the detailed design phase.
2. Replace the existing windows with timber like-for-like double glazed windows.
3. Alter the design of the courtyard and boundary wall in response to some comments made by the conservation officer during the previous application.

Replacement Windows

Replacement windows are sought to improve the thermal efficiency of the building and make the approved air source heat pump more effective. As currently proposed, despite the use of underfloor heating, the building would perform so poorly that secondary electric heaters would be required during the colder days of the year. Electrical heating is just one third as efficient as an ASHP and as such we wish to improve the performance of the windows. Most windows on site are either not of historic interest or are not original to the building, and as such it is hoped that the application will be received favourably. Section 2 of this statement explains the rationale further.

Courtyard Design Alterations

During pre-application discussions it was made clear that the domestic character of the building including the existing veranda make a positive contribution towards the character of the conservation area. However, due to the extent of refurbishment required, the existing veranda will need to be entirely rebuilt. The like-for-like rebuilding of the veranda is already approved. This application seeks to amend the design slightly in response to detailed design matters and fire safety concerns which require doors to be outward-opening. The rationale and detailed design are explained in Section 4.2 of this statement.

The conservation officer assigned to the previously approved application indicated informally that replacing the front boundary wall with something more sympathetic to the street scene, courtyard, and existing building, would be looked upon favourably. We are therefore proposing to rebuild this boundary wall in London stock brick at low level and a timber fence at high level, allowing a degree of visibility through to the new courtyard. We have carefully designed this element to maintain the domestic character of the building while allowing some more visibility through to a space which will have community and therefore public use.

2. Introduction

2.1 The Practice

“The work shows a remarkable architectural intelligence that renders materials emotionally communicative...

...demonstrating an enduring concern to treat each place on its own merit.”

Charles Rattray
Architectural Critic and Journalist

The practice is motivated by a passion for good design.

As most of our jobs are in London, this almost always includes designing a building that sits happily in the context of its neighbours.

It means leaving architectural ego behind and working closely with client and site to produce something which is, above all, suitable for both, enhancing and giving new meaning to the context and fulfilling the aspirations and needs of the client or user.

St Michael's and All Angels
Barnes



2. Introduction

2.1 The Practice

Hugh Cullum Architects has substantial experience in designing sensitive interventions within the setting of listed ecclesiastical buildings, recently receiving an award from the Diocese of Southwark for making a particular contribution to the mission of the church through architecture.



St Peter's Church
Petersham

3. Site Analysis



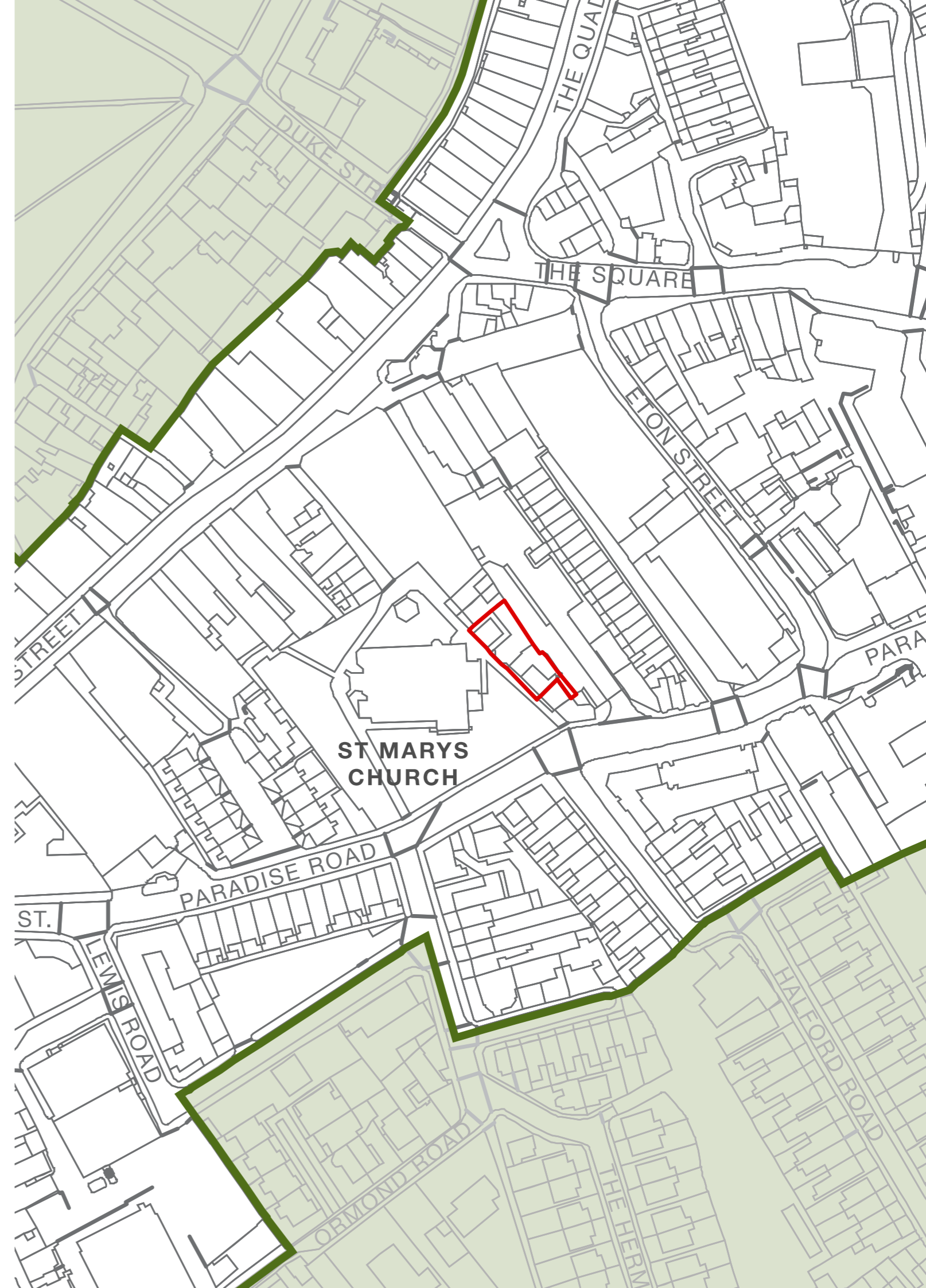
3. Site Analysis

3.1 Location

The application site falls within the London Borough of Richmond, and forms part of a cluster of domestically-scaled buildings surrounding the Church of St Mary Magdalene, which itself is Grade II* listed. The site is centrally located, being within a five minute walk of Richmond Station and the surrounding transport links. As shown on the map to the right, the site is within the Central Richmond Conservation Area, designated in 1969.

The Richmond Team Ministry Parish Rooms are not formally listed but the first floor of the the south-eastern range is considered a Building of Townscape Merit (BTM) which is equivalent to the usual notion of a building being 'locally listed'. The site is directly opposite the Church of St Mary Magdalene and neighbours the Grade II listed 3 and 4 Church Walk. Impact upon both designated and non-designated heritage assets and their setting is therefore a key consideration.

The site also falls within the Central Richmond Key Office Area. Policy LP41 states that provision of small scale office space will therefore be supported in this area, where appropriate.



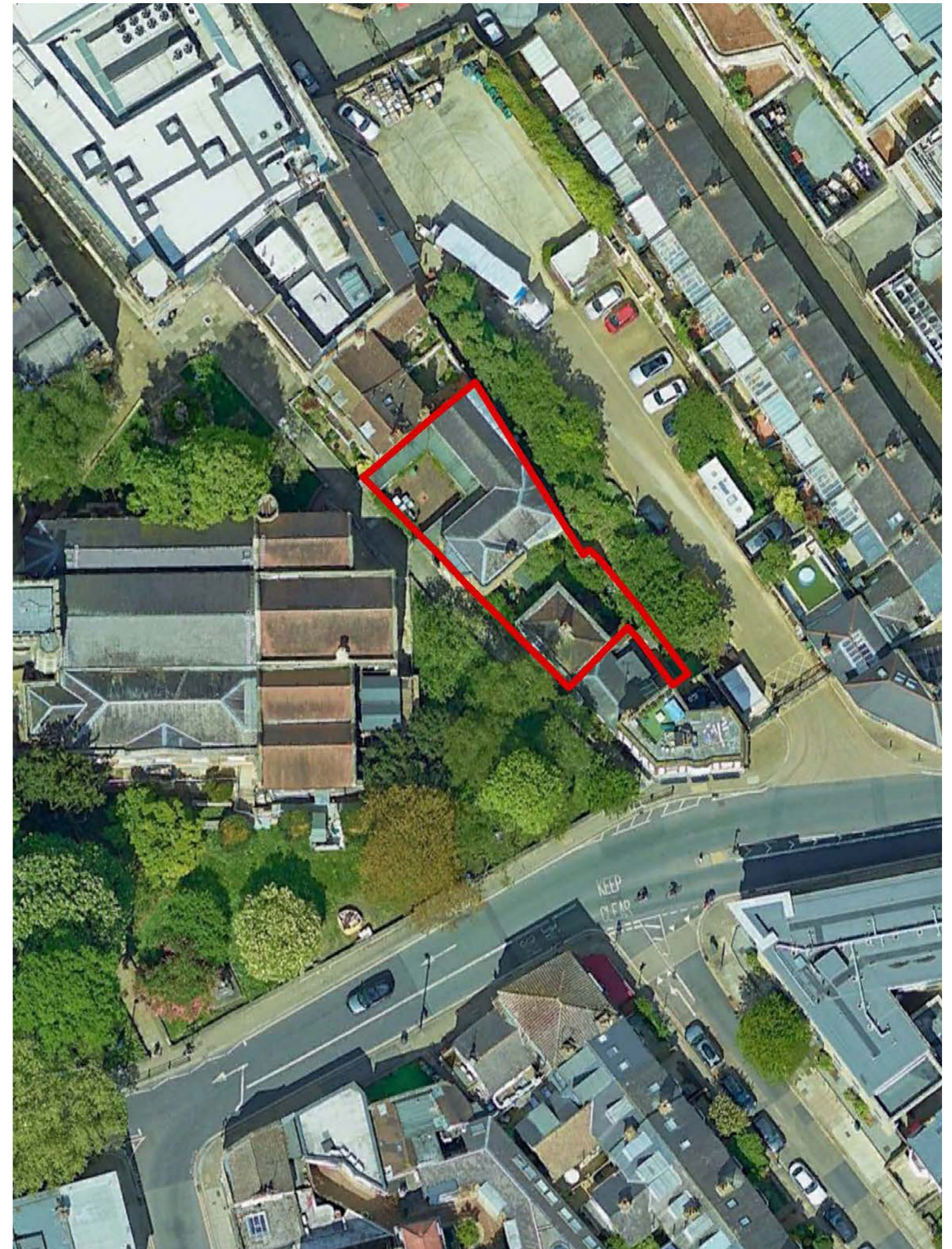
Conservation Area Map
London Borough of Richmond

3. Site Analysis

3.2 Site Identification

The site is formed by two separate but adjacent plots of land, including the RTM Parish Rooms, and the 'Church Cottage'. The two plots share common ownership and a boundary, and both face onto Church Walk. The Church of St Mary Magdalene is located directly opposite both.

The RTM Parish Rooms are arranged around a small open courtyard facing onto Church Walk and the church.



Satellite View
London Borough of Richmond

3. Site Analysis

3.3 Site Identification: Parish Rooms

The Parish Rooms are arranged around a small open courtyard formerly in restaurant use. The courtyard itself is not obviously visible from the public realm, but its presence is clearly communicated by the break in the terraced façades in the street and the set-back of the white-panelled facade at the rear of the courtyard. Despite not being clearly visible nor accessible from the street, views of the open space can be glimpsed from the public realm, particularly when moving along Church Walk.

The open space is well-planted with climbers and creepers, which grow over the wall into the public realm. The space is not entirely open to the elements, but is partially protected by a verandah around its edge.

The north-western boundary to the courtyard is formed by the Grade II listed 4 Church Walk, which has no windows onto the space.



3. Site Analysis

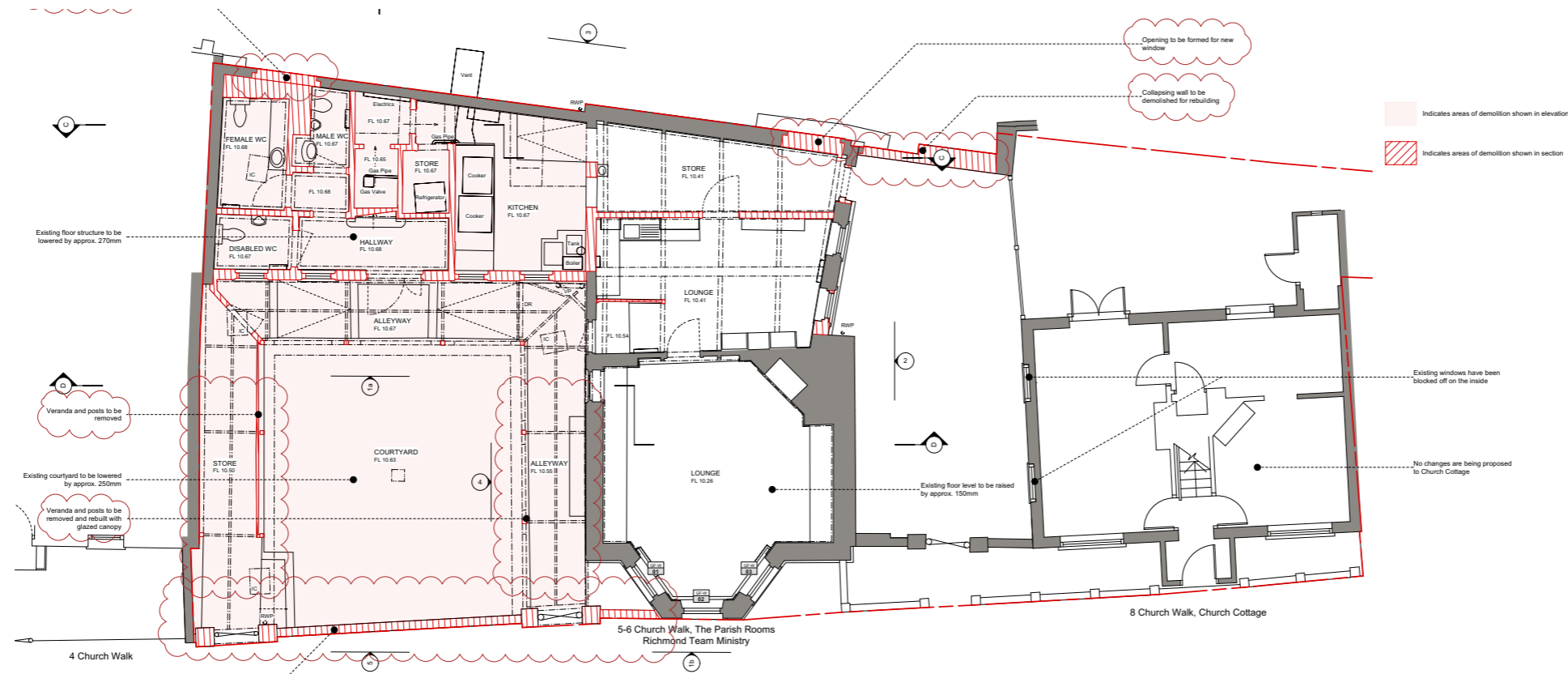
3.4 Site Identification: Church Cottage

The Church Cottage, which was built after 1938, lies upon the adjacent plot of land to the Parish Rooms and is also owned by the Richmond Team Ministry. Although no changes are proposed to the Church Cottage itself, a small side extension to the Parish Rooms is proposed which will lie within the curtilage of the Church Cottage. Development is therefore technically planned on this site, although boundaries between the two properties will subsequently be redrawn.

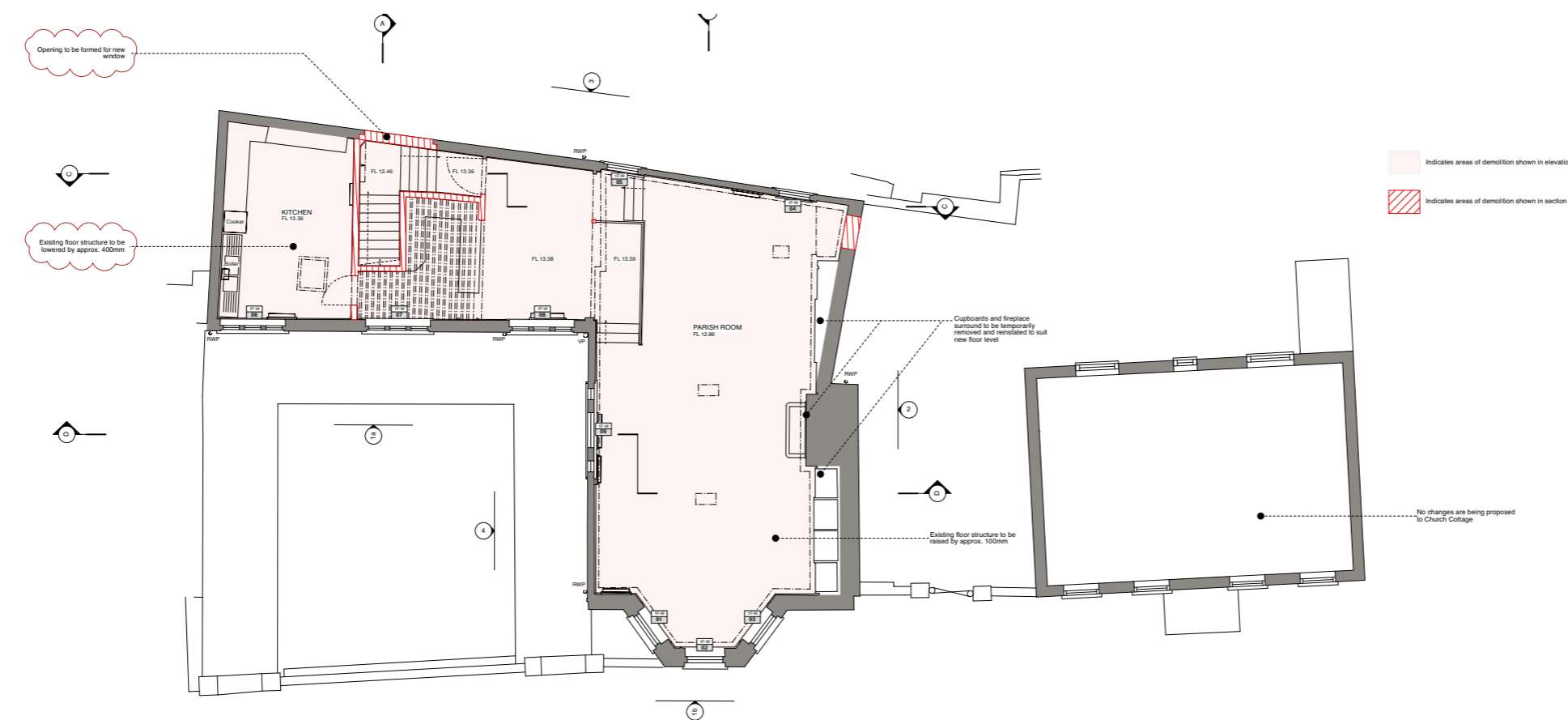


3. Site Analysis

3.5 Existing and Demolition Drawings



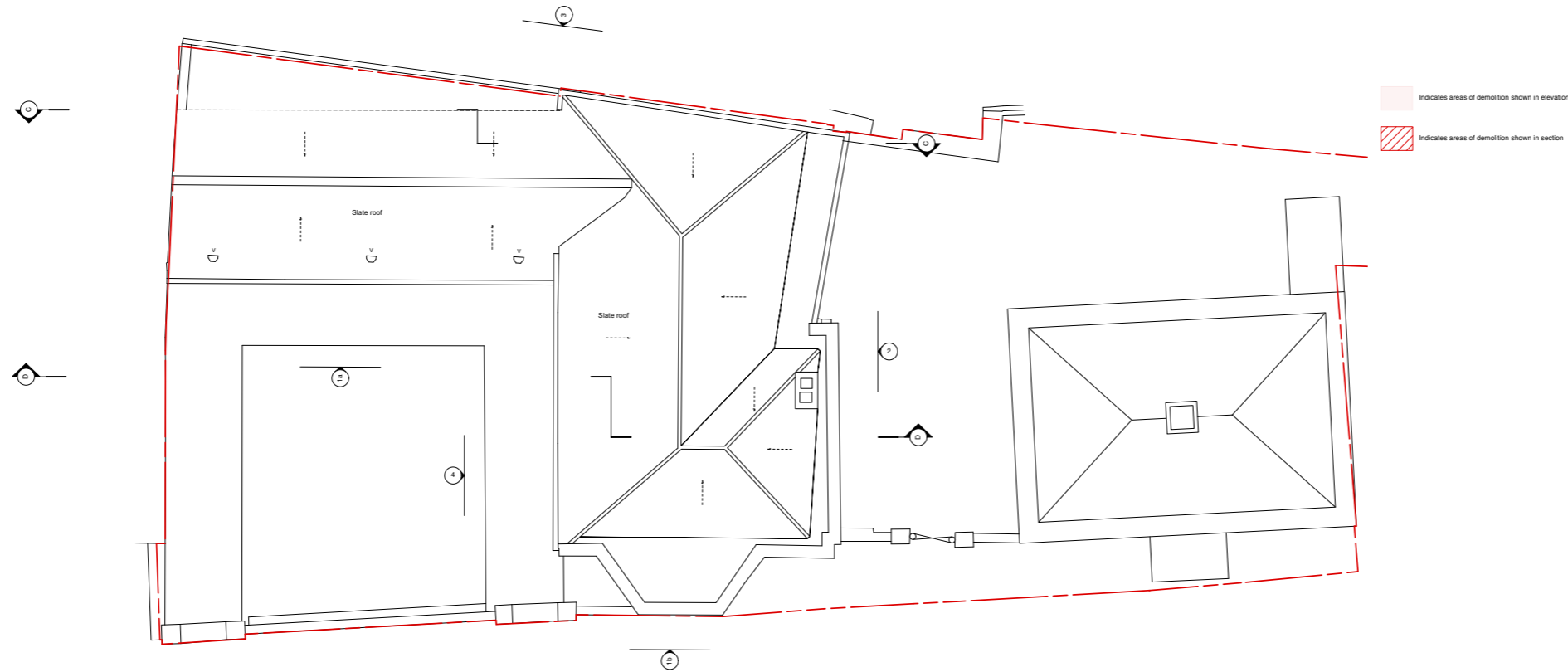
Existing Ground Floor Plan



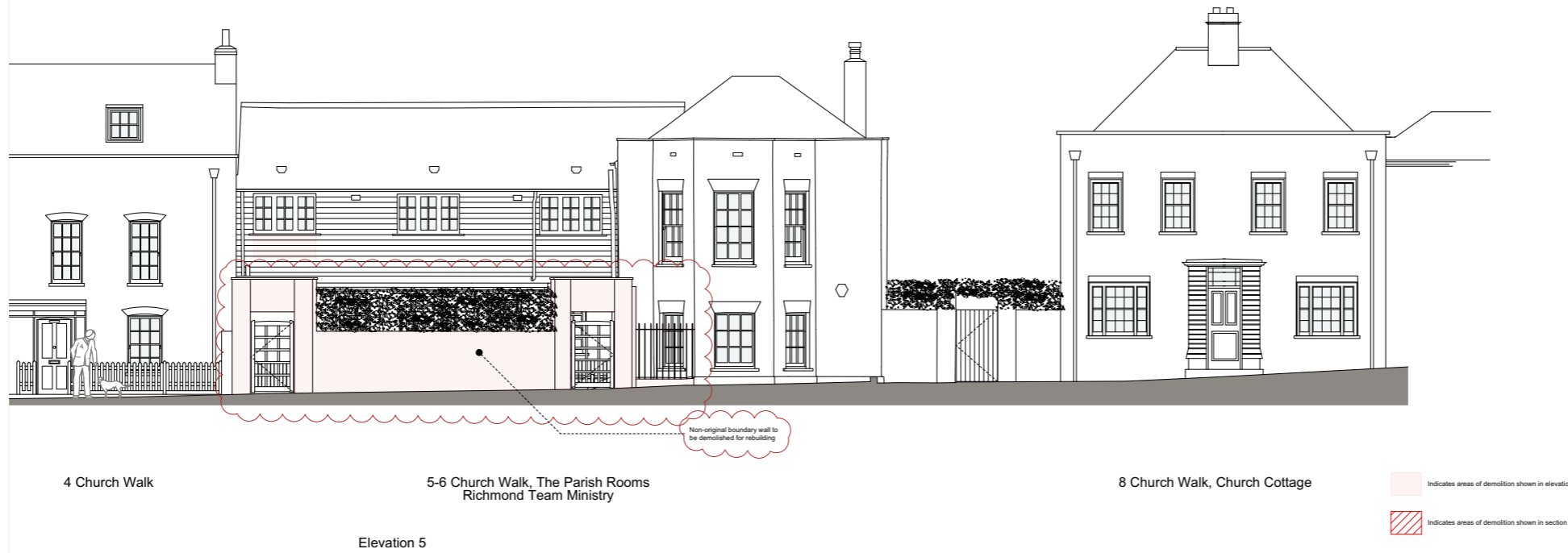
Existing First Floor Plan

3. Site Analysis

3.5 Existing and Demolition Drawings



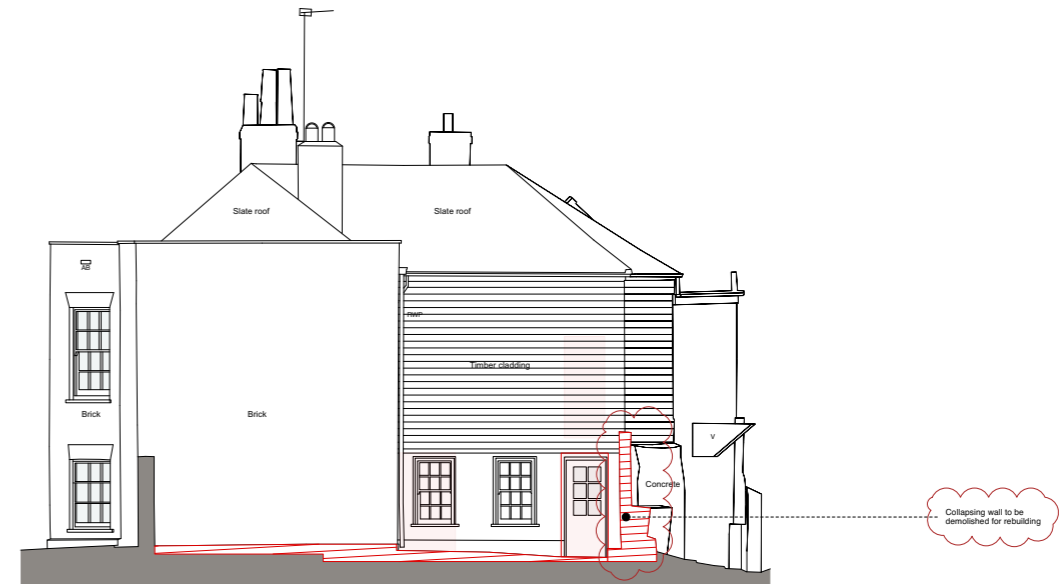
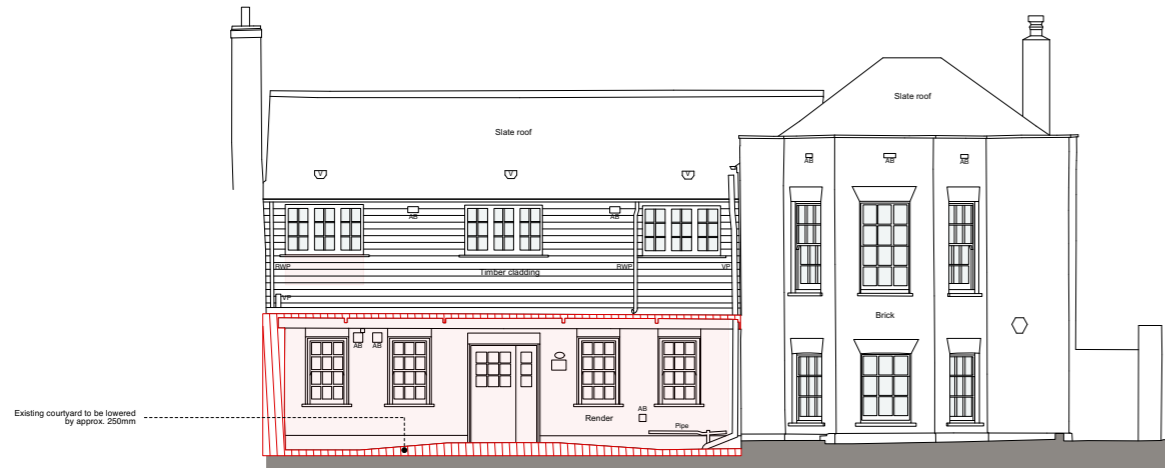
Existing Roof Plan



Existing Street Elevation

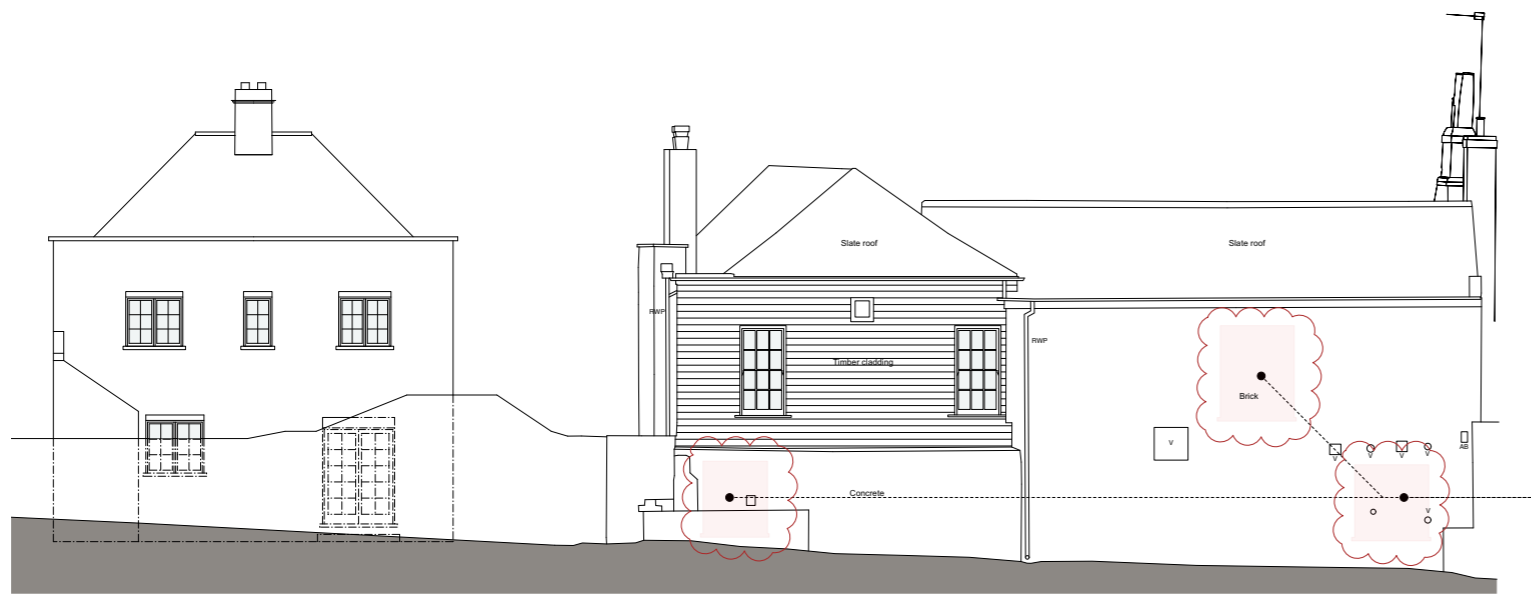
3. Site Analysis

3.5 Existing and Demolition Drawings



Existing South-West Elevation

Existing South-East Elevation



8 Church Walk, Church Cottage

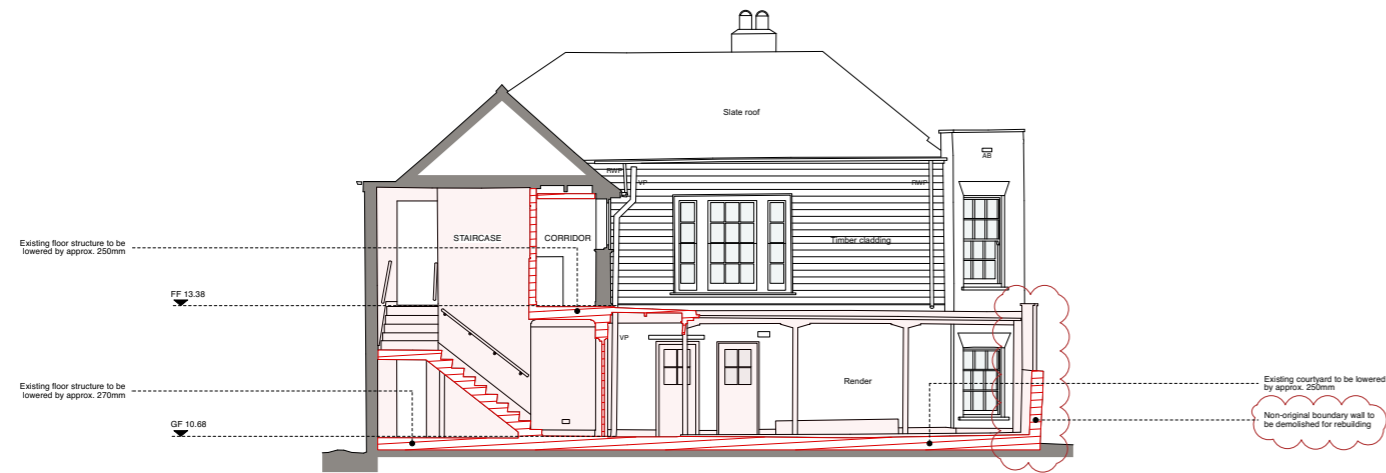
5-6 Church Walk, The Parish Rooms
Richmond Team Ministry

Existing North-East Elevation

Existing North-West Elevation

3. Site Analysis

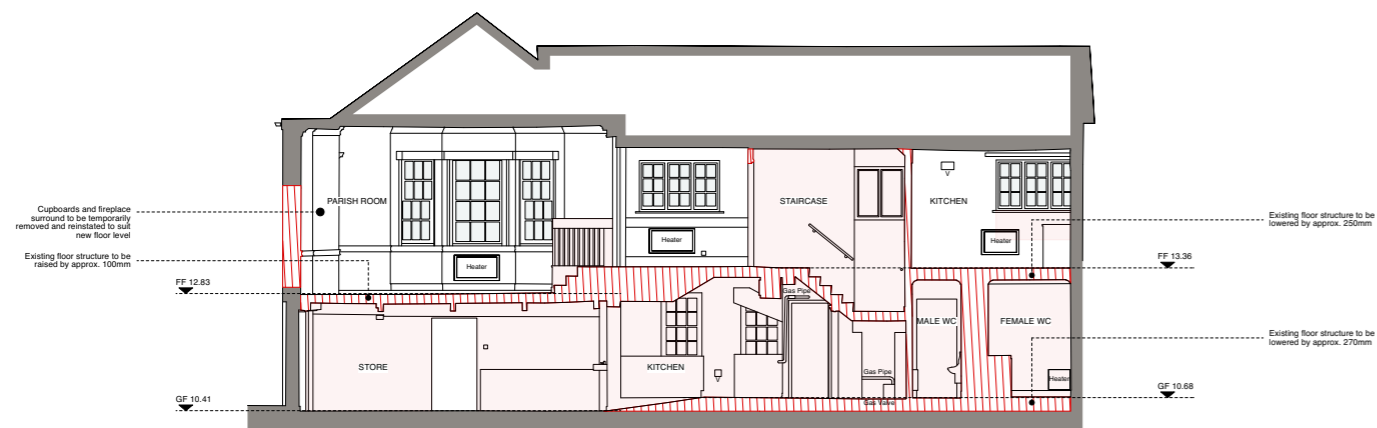
3.5 Existing and Demolition Drawings



Existing Section A-A



Existing Section B-B



Existing Section C-C



Existing Section D-D

4. Proposal



4. Proposal

4.1 Overview

Section 0 – Outside Scope of MMA

There are a number of changes to the drawings which we show for clarity but which are outside the scope of planning control and/or not material to the application.

1. There are a number of internal layout alterations which do not affect the proportion of community space to office space, etc.

2. All walls are now to be internally insulated in wood fibre to improve thermal performance. This is indicated in pale grey (new construction) of the drawings.

Section 1 – Minor Alterations

As a result of detailed design, a number of minor alterations to the approved drawings are sought. These are listed below with their rationale.

1. Three new windows are proposed to the rear elevation - two on the ground floor and one on the first floor. These face onto a Tesco service yard and as such no issues of overlooking or impact upon the conservation area are raised. Please refer to drawings P100, P101, P201, P600 and P601 for details.

2. The entrance to the side extension has been moved to the side rather than the front of the building. This is to allow easier circulation internally while also making for a larger bike shed.

3. A small window is proposed in the south-east elevation of the new side extension, next to the moved entrance door. This will not cause any overlooking issues with Church Cottage, as its ground floor windows facing the Parish Rooms are blocked up, and a solid fence protects from views into and from its rear garden.

4. The rear boundary wall abutting the new side extension is to be rebuilt. This is because the existing wall is in poor condition and foundations to the extension would disturb the wall even further. The existing wall would be rebuilt like-for-like.

5. The parapet to the side elevation of the side extension has been removed. This is simply to ease drainage on a roof which will not be easily visible or accessible and would therefore be at risk of blockages.

6. The general configuration of the ASHP chamber has been altered to comply with fire regulations and supplier specification. It is now located outside the building envelope, housed in a bespoke metal enclosure with an attenuator to the roof and an acoustic louvre to the entrance. The enclosure would not be visible from Church Walk and the overall footprint of the ASHP has not changed.

Section 2 – Replacement of Windows

The existing sash windows perform poorly and require some kind of thermal upgrade to allow the new air source heat pump to run efficiently, while minimising or potentially eliminating the need for secondary electrical heating. Please refer to drawings P600 and P601 for details.

Section 3 – Courtyard and Boundary Wall Design Alterations

The changes proposed, though considered minor in the context of the overall scheme, will increase the quality of both the appearance and experience of this crucial area considerably. The proposal is described in detail below:

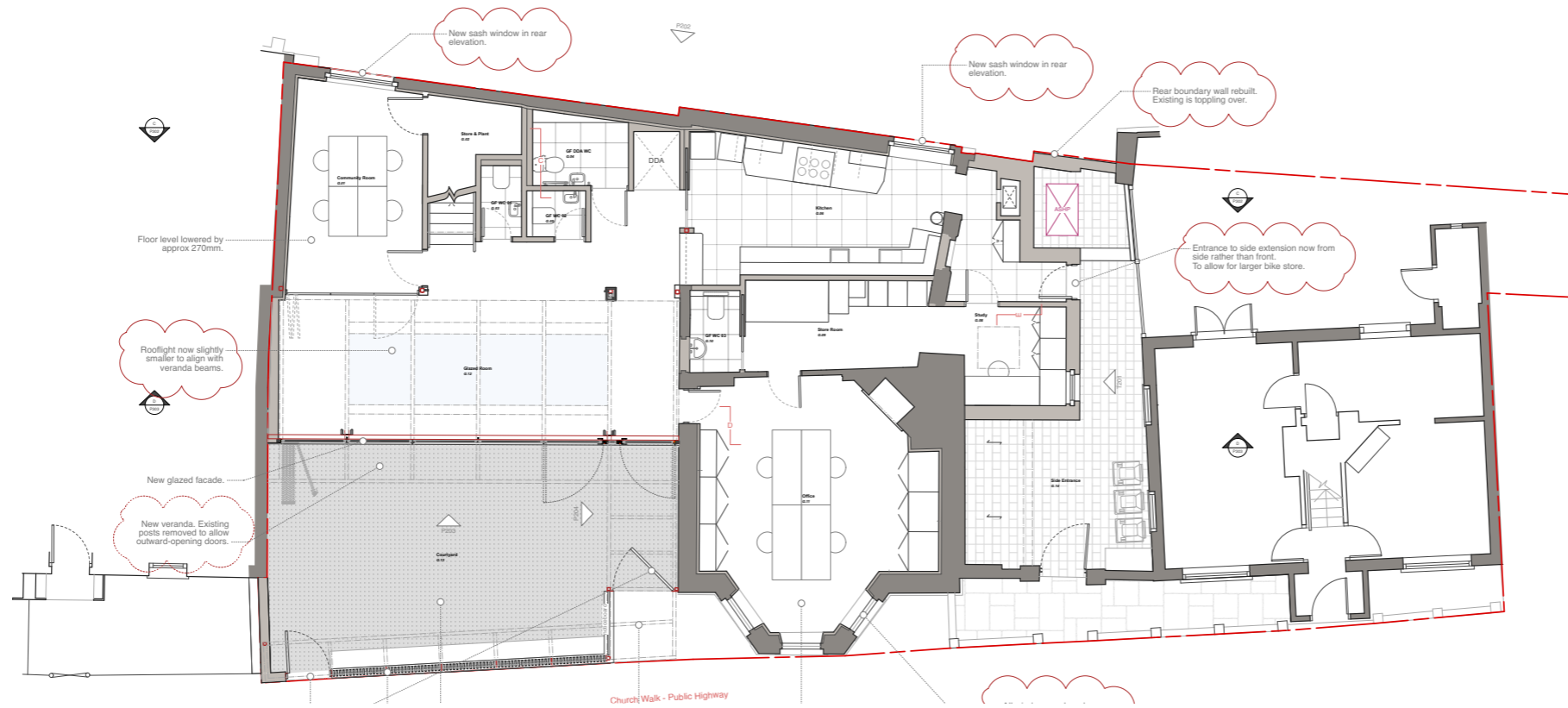
1. Fire regulations require a second egress door adjacent to the main entrance door to provide a secondary means of escape in case the fire curtain has been lowered. This door, which is to form the end panel of the folding sliding glazed screen, needs to be outward opening. The proposal therefore omits the two new posts in the middle that had been shown in the approved drawings, as well as the existing/rebuilt veranda posts on the sides. Omitting these posts will make opening and stacking the folding sliding panels on the outside rather than the inside of the extension possible, and at the same time create a stronger connection between interior and exterior spaces.

2. In order to provide as much air and daylight to the remaining open part of the courtyard as possible, it is proposed to replace the veranda roof on the south-east side of the courtyard with a glazed canopy, and to remove the veranda roof on the north-west side, which currently projects beyond the facade of no.4 in an ungainly manner, entirely. A new timber pergola on top of the rebuilt boundary will still provide a certain sense of enclosure, but in a much more subtle and appropriate way than the current veranda arrangement.

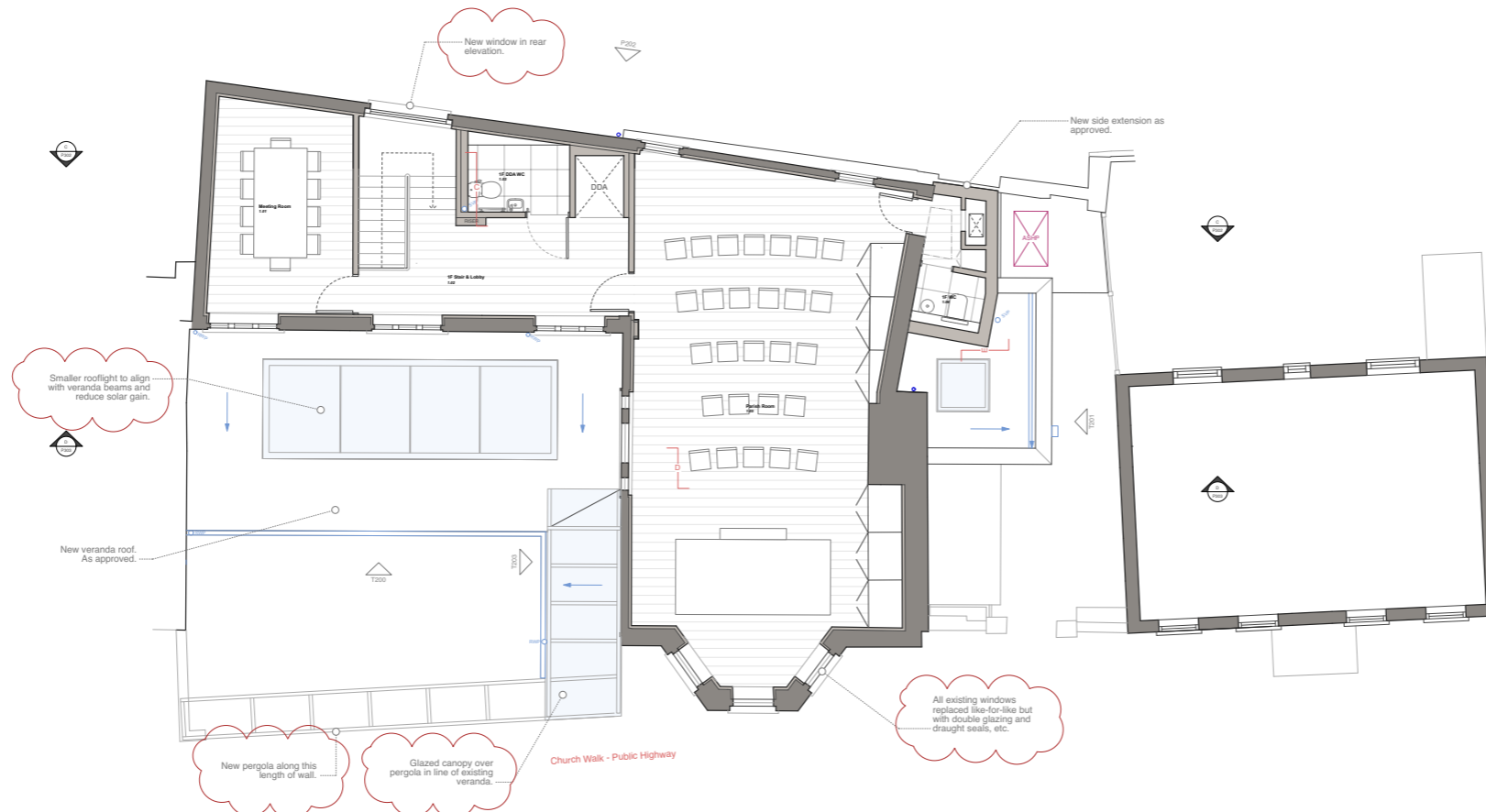
3. The non-original and crumbling front boundary wall is proposed to be replaced with a lower brick plinth of the same material, to be topped by a timber slatted fence which would improve the balance between privacy and transparency. The overwhelming and disproportionate existing brick gateways would be replaced by an unobtrusive and slender timber structure. The secondary entrance next to no.4 would remain in a similar position and in line with the boundary wall, whereas the main gate would be recessed to create an inviting and sheltered area under the projecting canopy (of the same footprint as the replaced veranda roof). A continuous stone bench on the courtyard side, built into the brick plinth, would transform the currently inhospitable boundary wall into an integral part of a community asset.

4. Proposal

4.2 Proposed Drawings



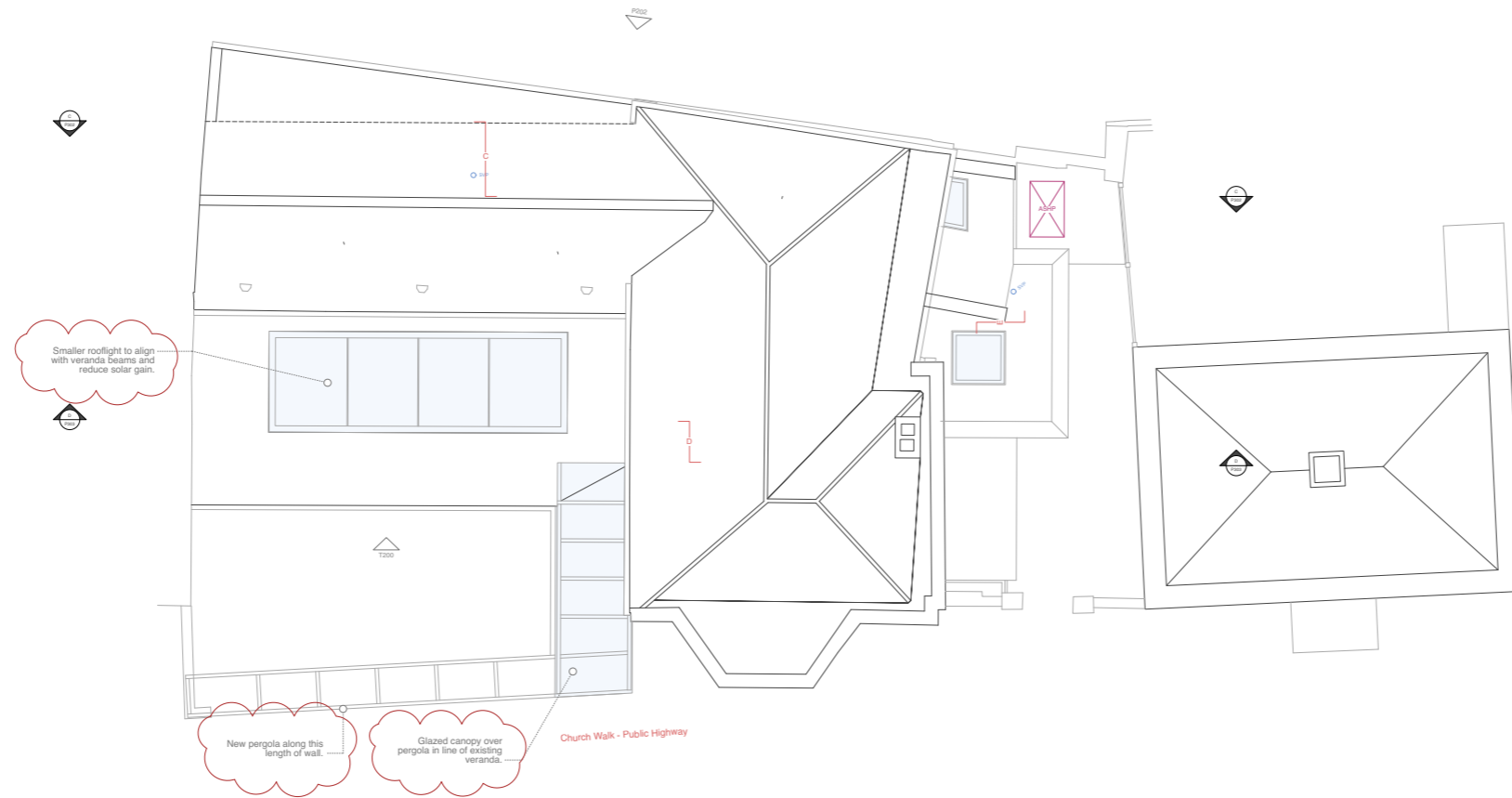
Proposed Ground Floor Plan



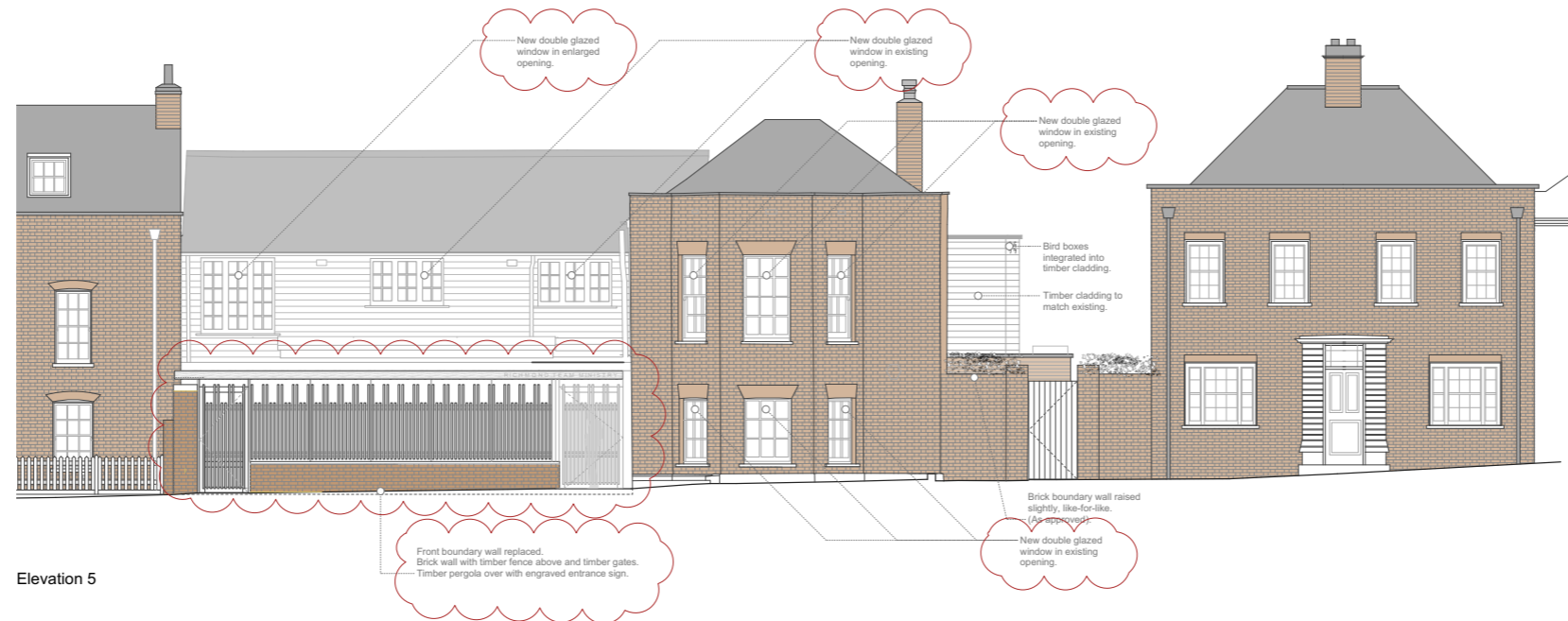
Proposed First Floor Plan

4. Proposal

4.2 Proposed Drawings



Proposed Roof Plan



Proposed Street Elevation

4. Proposal

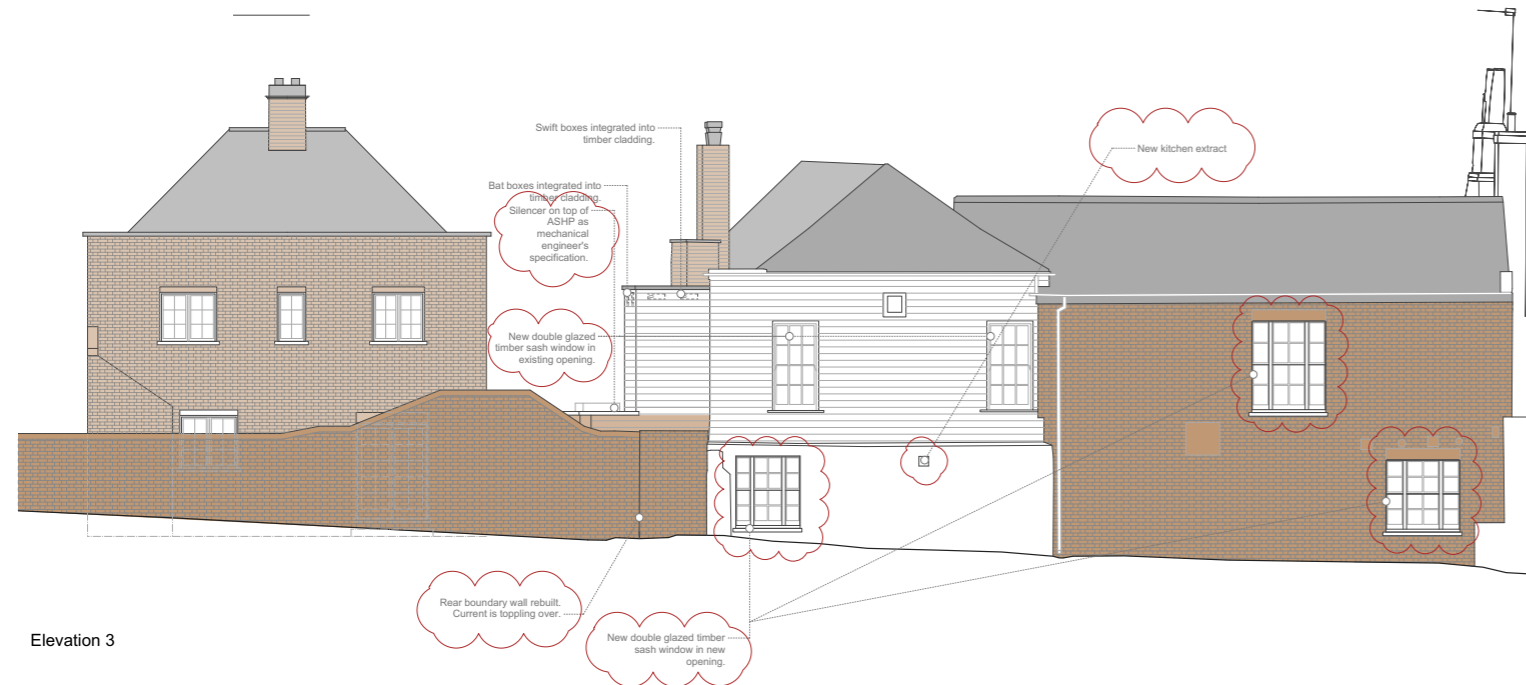
4.2 Proposed Drawings



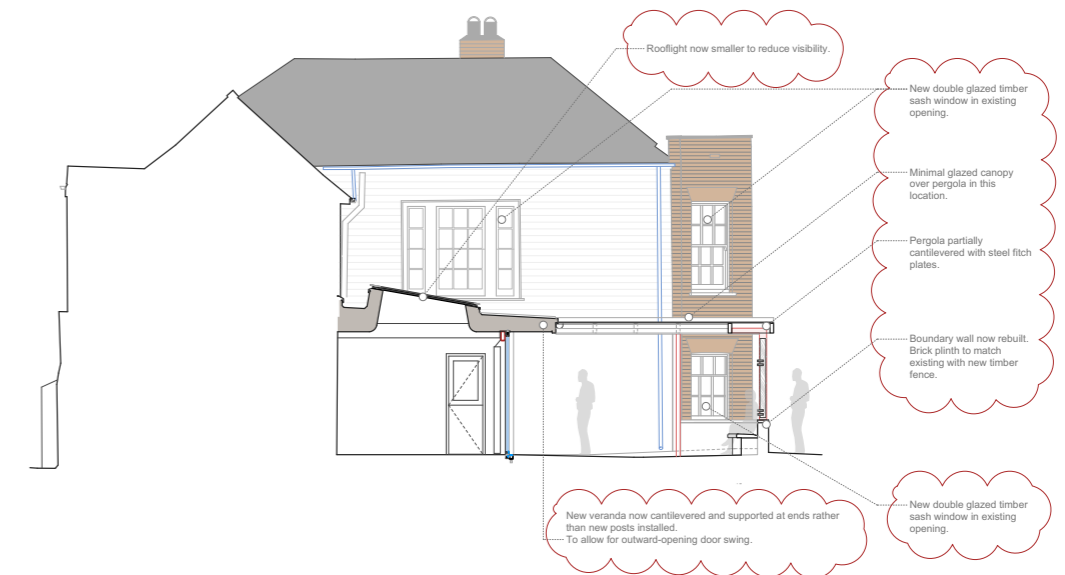
Proposed South-West Elevation



Proposed South-East Elevation



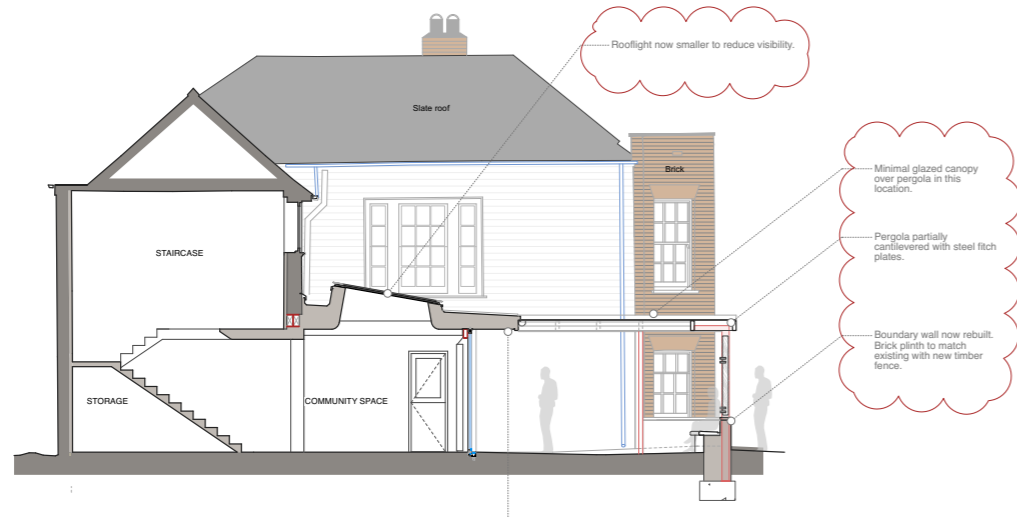
Proposed North-East Elevation



Proposed North-West Elevation

4. Proposal

4.2 Proposed Drawings



Proposed Section A-A



Proposed Section B-B



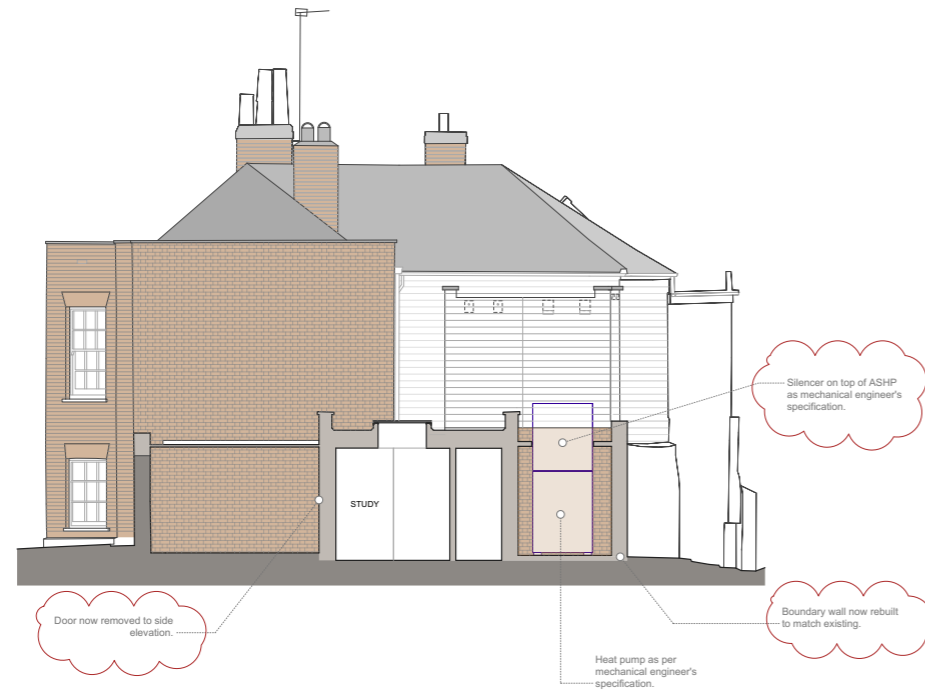
Proposed Section C-C



Proposed Section D-D

4. Proposal

4.2 Proposed Drawings



Proposed Section E-E

5. Materials

All new proposed windows will be white painted timber with double glazing. Where existing window sashes are proposed to be replaced to enable fitting with double glazing the new sashes will match the existing in material and colour.

The plinth of the proposed boundary wall will be built in London stock brick to match the existing with natural stone coping. The new fence, gates and pergola will be made of solid timber.

The solid roof of the courtyard extension will be clad in zinc.

6. Access

Making the Parish Rooms accessible to all people, irrespective of any disabilities they may experience, has been one of the main imperatives for the design development from the start.

The minor material amendments proposed within this application will further enhance the overall accessibility from the first point of entrance through to the communal and office spaces on both the ground and the first floors.

Following proposed improvements are listed below (internal changes are not within the scope of planning control and therefore not part of this minor material amendment application, but are listed for completeness's sake):

1. By removing the rather imposing and disproportionately narrow and tall brick gateposts and replacing them with wider and less intimidating entrances, we propose to lower not only the physical but also the psychological threshold and show that the building has been made fully accessible and welcoming to everybody.

2. We propose to set the main entrance gate back to align with the corner of the main building and will thereby create a generous and inviting transition space between the public realm and the Parish Rooms and also improve the current situation by making the full historic bay window now visible. By "softening the border" in this way people will be guided more naturally into the building. The outline of the existing veranda will still be readable in the new glazed canopy that will project over this entrance area.

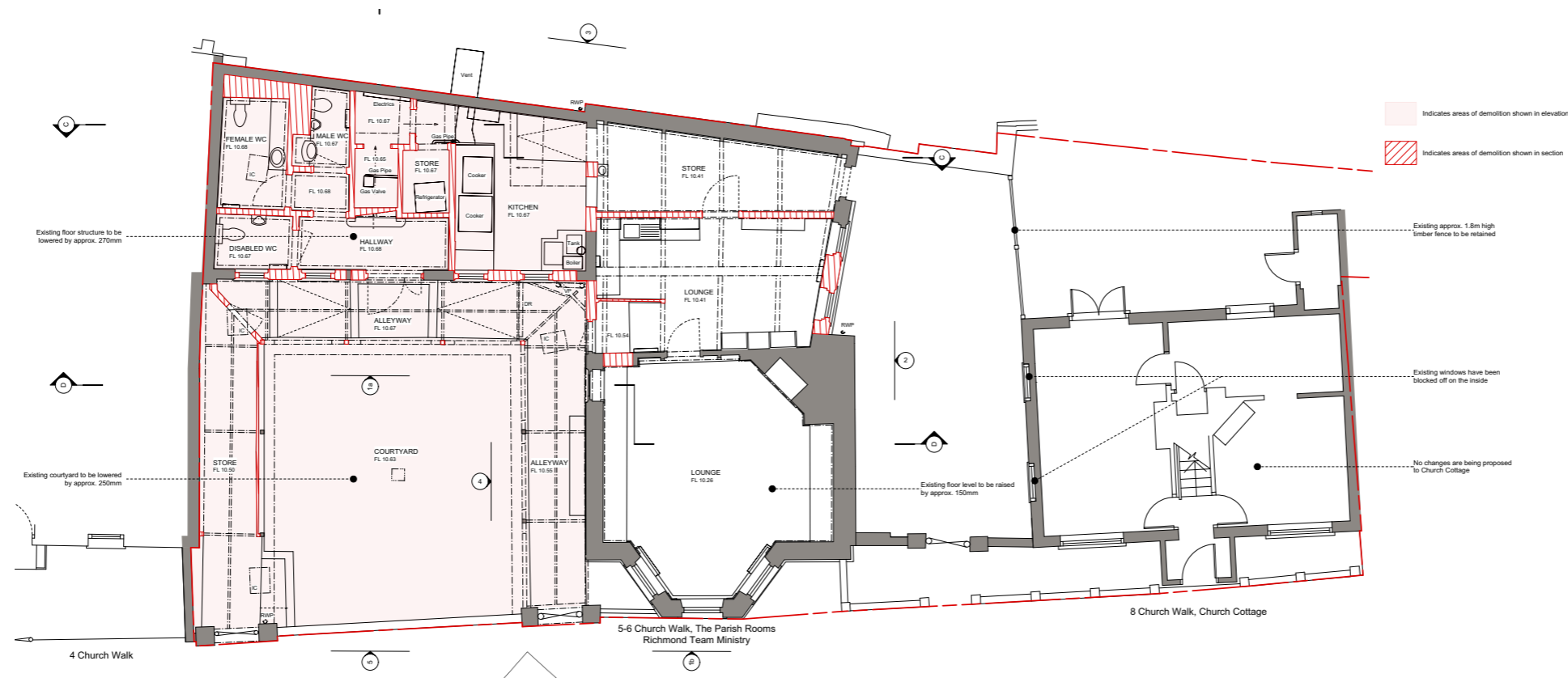
3. We have removed any pronounced ramps and steps at the approach route and are dealing with any level differences with gentle and hardly noticeable slopes. This way the whole courtyard will be accessible to wheelchair users and the ambulant disabled from every corner and every direction.

4. The internal core, including the position and orientation of the lift and WCs, has been improved to make access to everybody easier and more efficient. Shifting the external door in the new side extension from the front to the side will enable a better separation between different usages inside the building, as this side entrance can be used by the kitchen users without having to cross through office space.

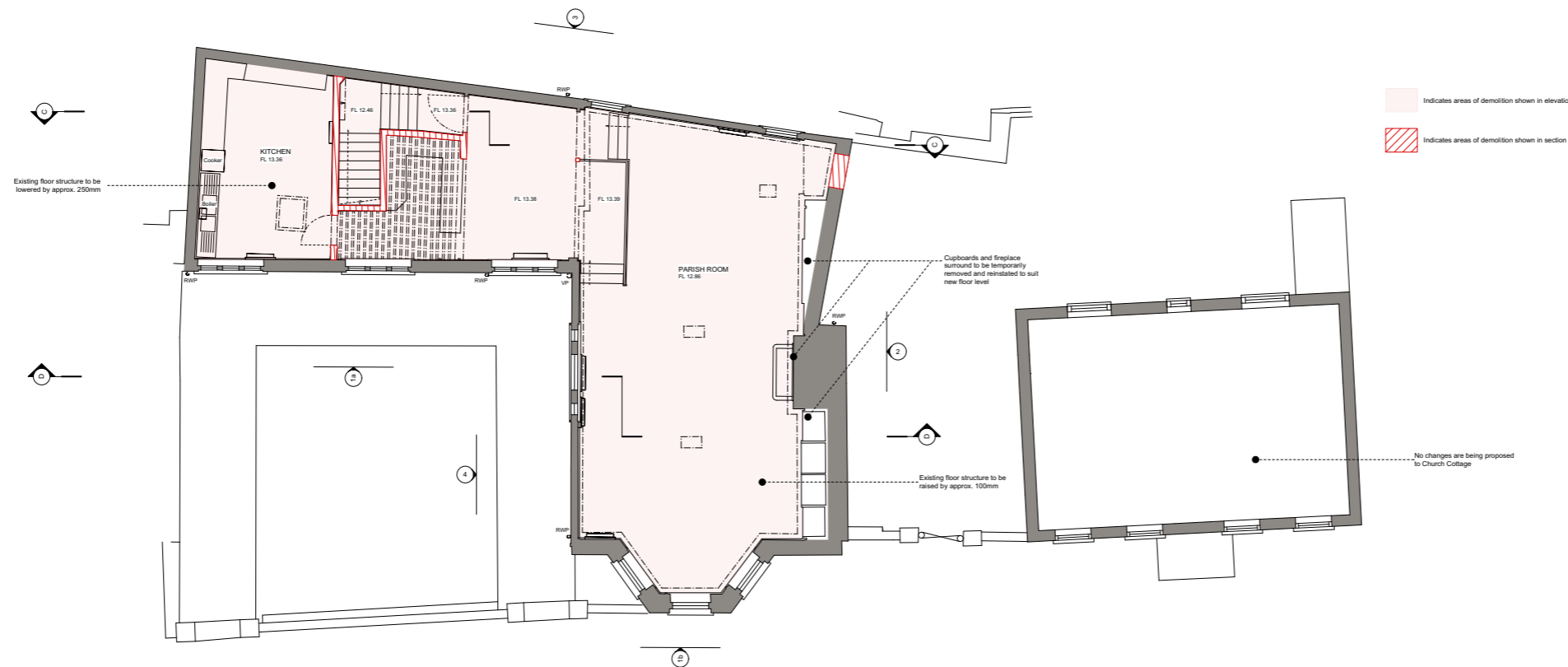
5. By lowering the first floor level of the rear wing by further 170mm we will be able to omit the proposed ramp on this floor and therefore create a building that will be fully level on both floors.

7. Appendix

7.1 Approved Existing and Demolition Drawings

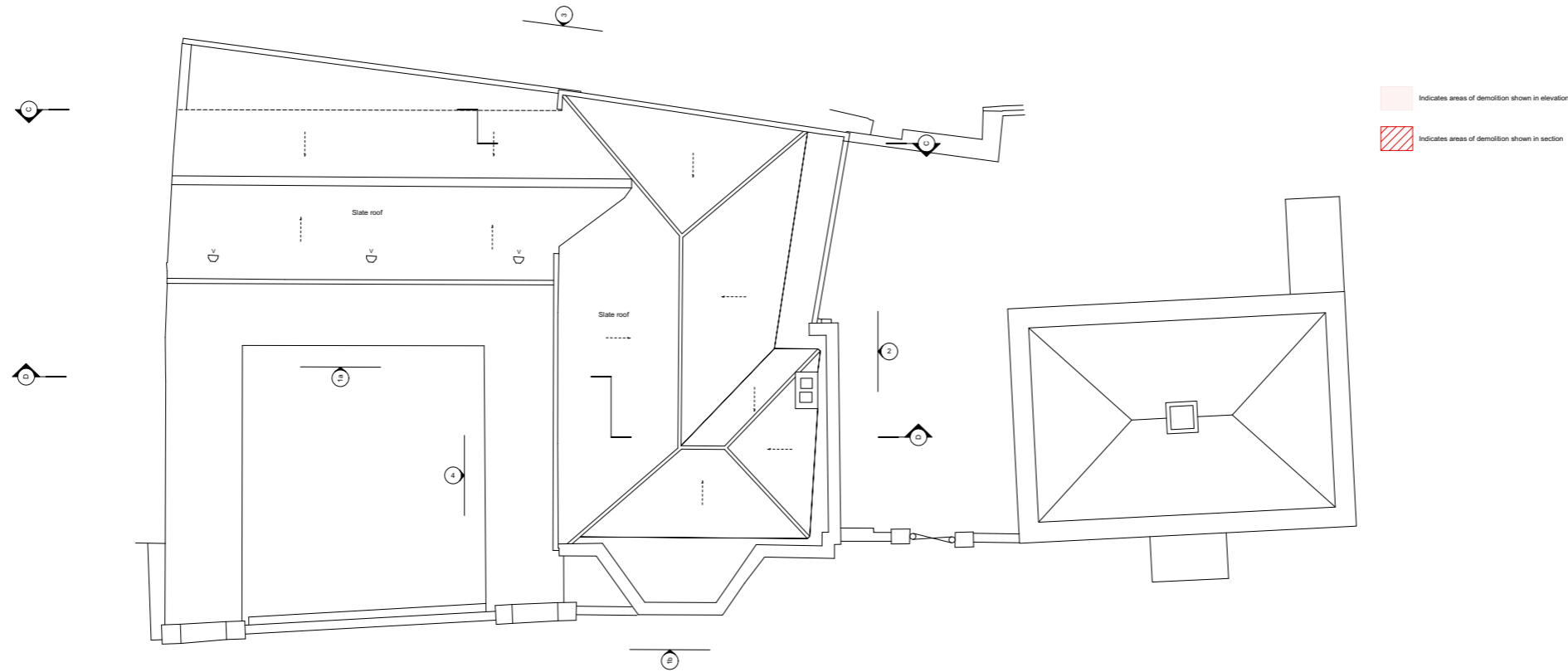


Existing Ground Floor Plan



Existing First Floor Plan

7.1 Approved Existing and Demolition Drawings

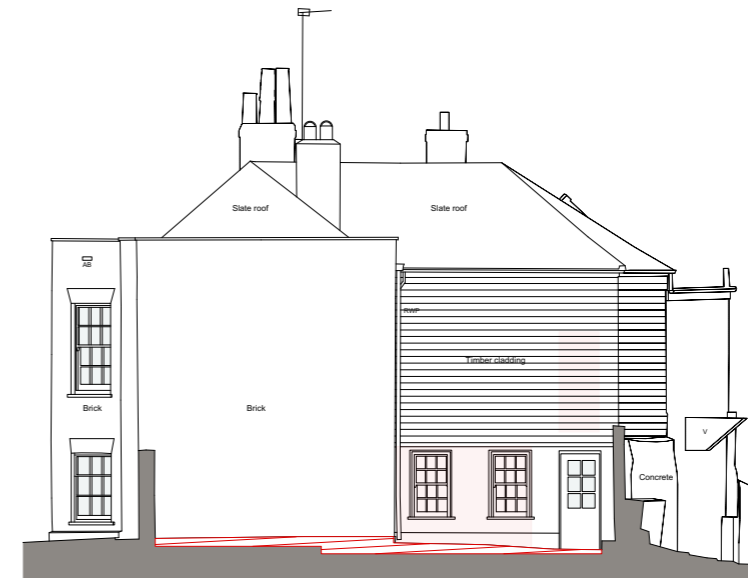
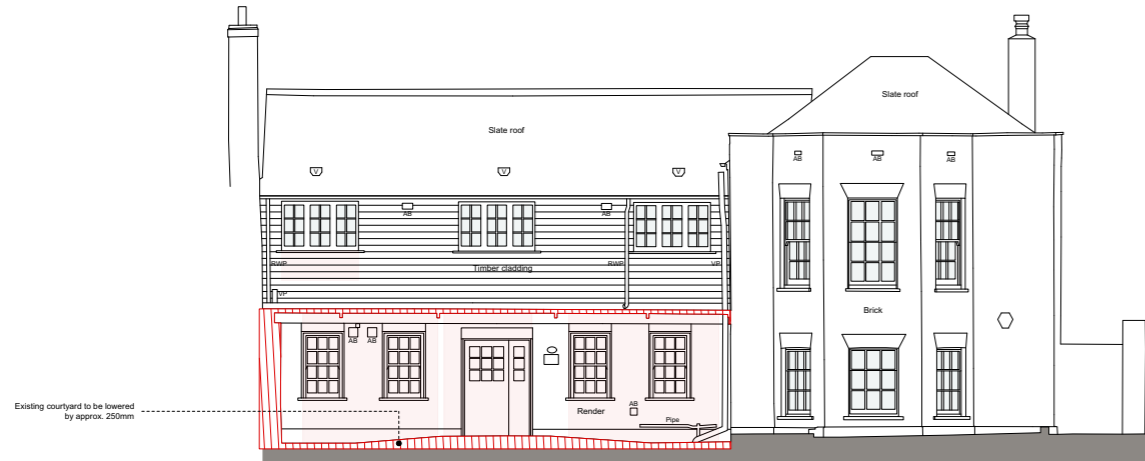


Existing Roof Plan



Existing Street Elevation

7.1 Approved Existing and Demolition Drawings



4 5

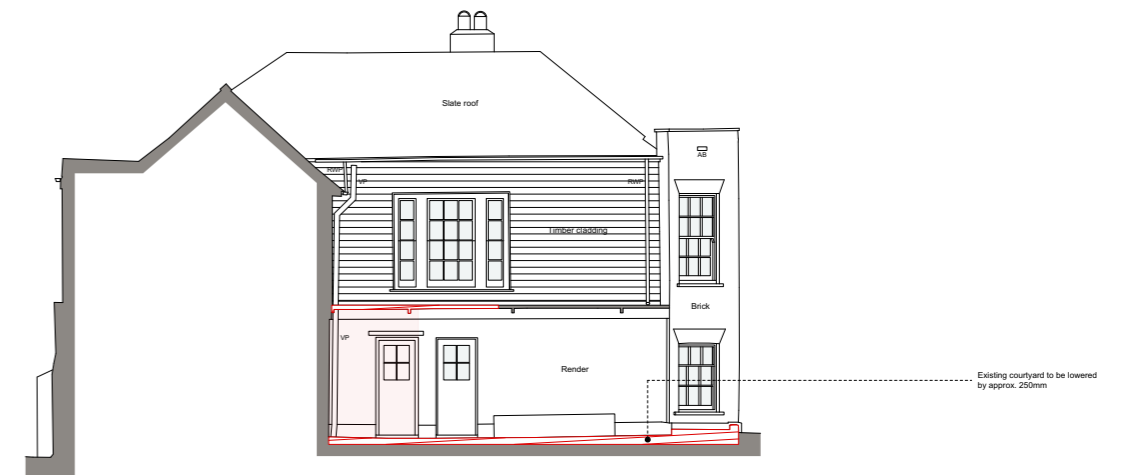
Existing South-West Elevation

Existing South-East Elevation



8 Church Walk, Church Cottage

5-6 Church Walk, The Parish Rooms
Richmond Team Ministry

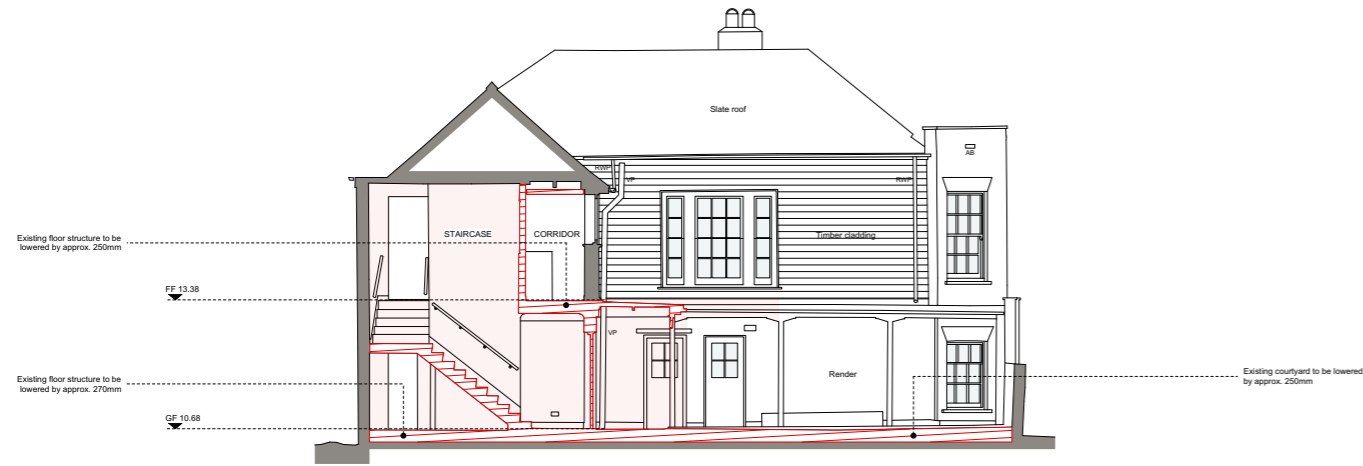


Existing North-East Elevation

Existing North-West Elevation

7. Approved Scheme (23/3186/FUL)

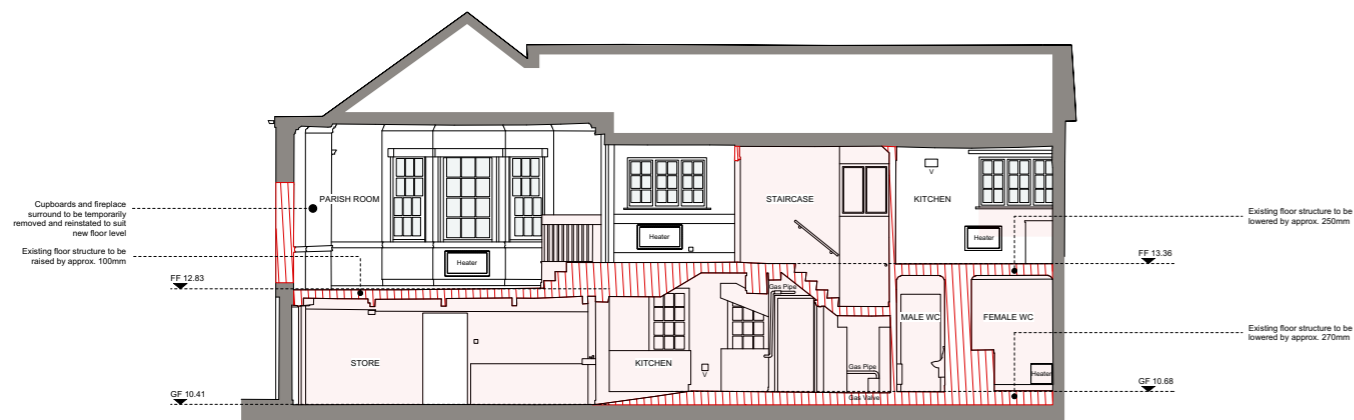
7.1 Approved Existing and Demolition Drawings



Existing Section A-A



Existing Section B-B

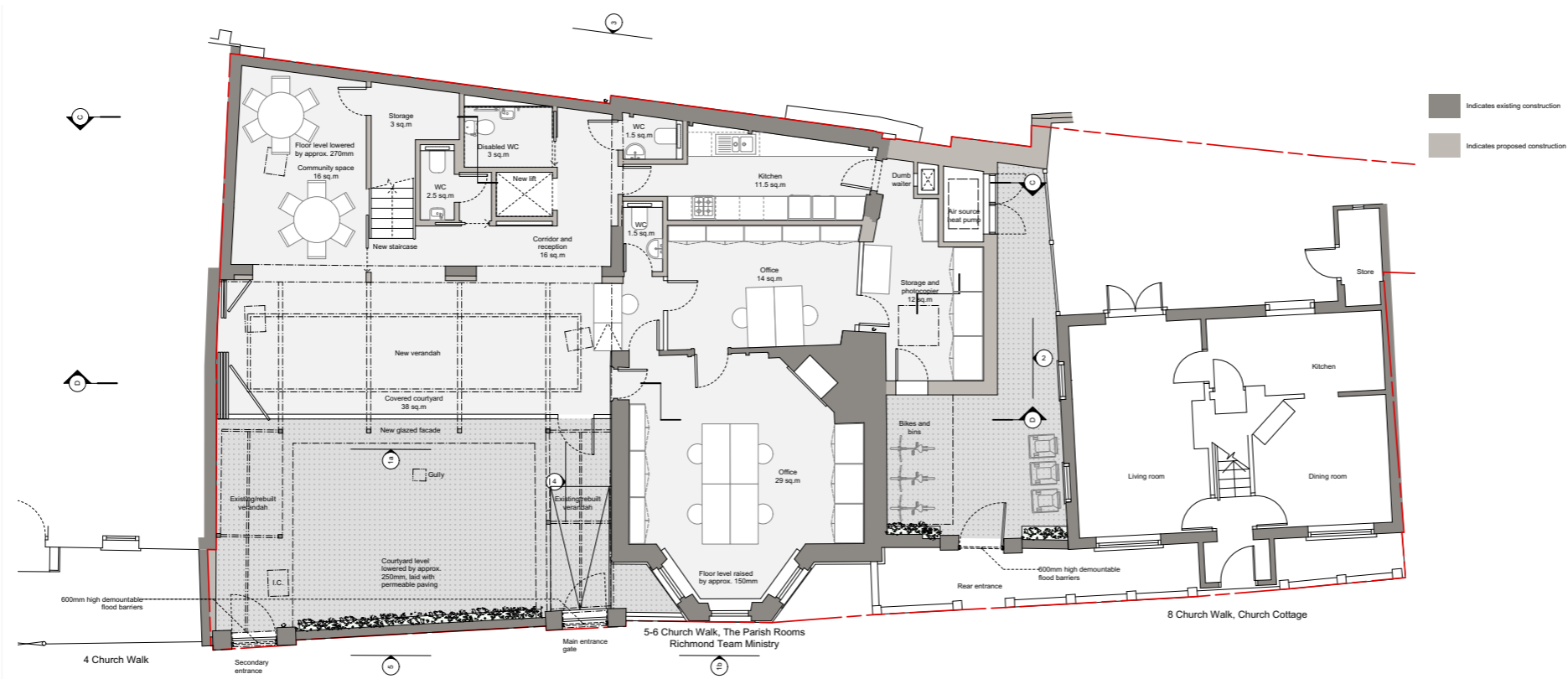


Existing Section C-C

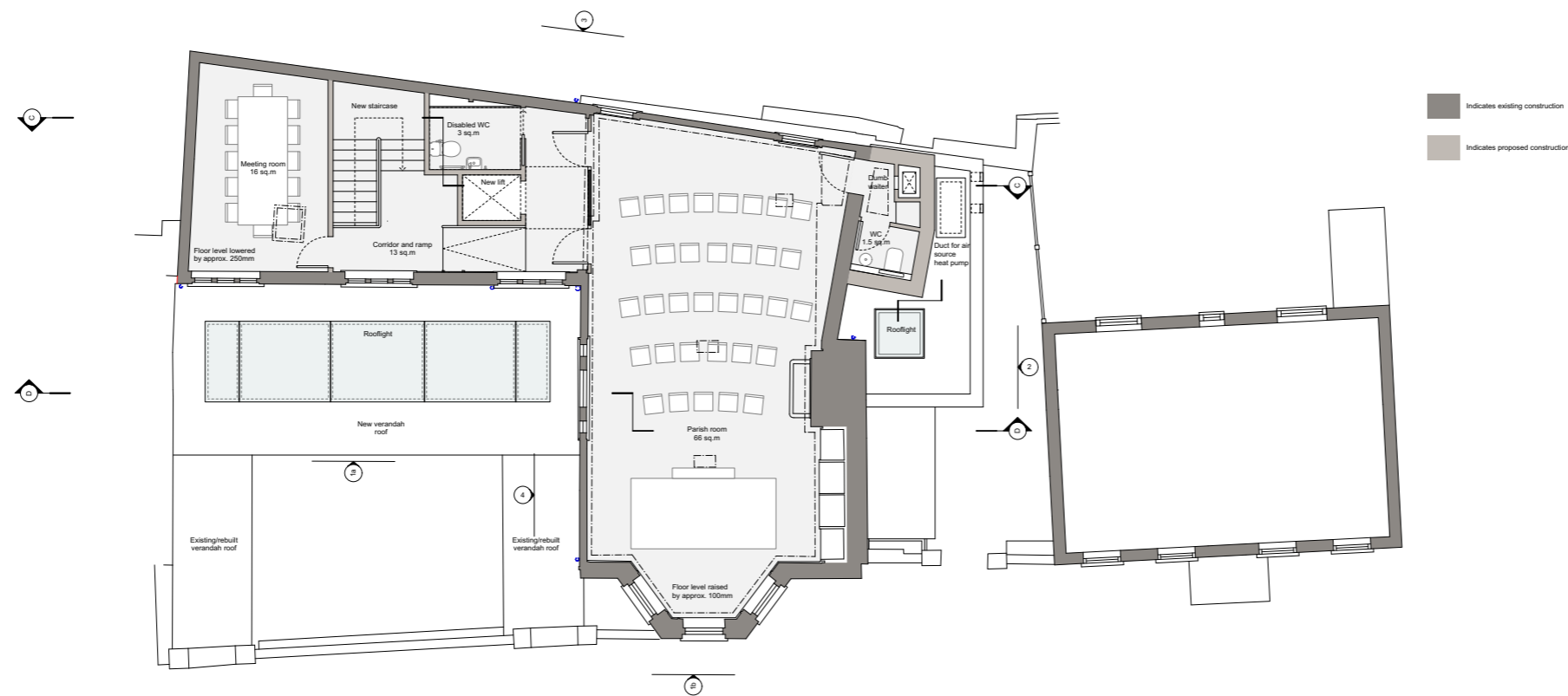


Existing Section D-D

7.2 Approved Proposed Drawings

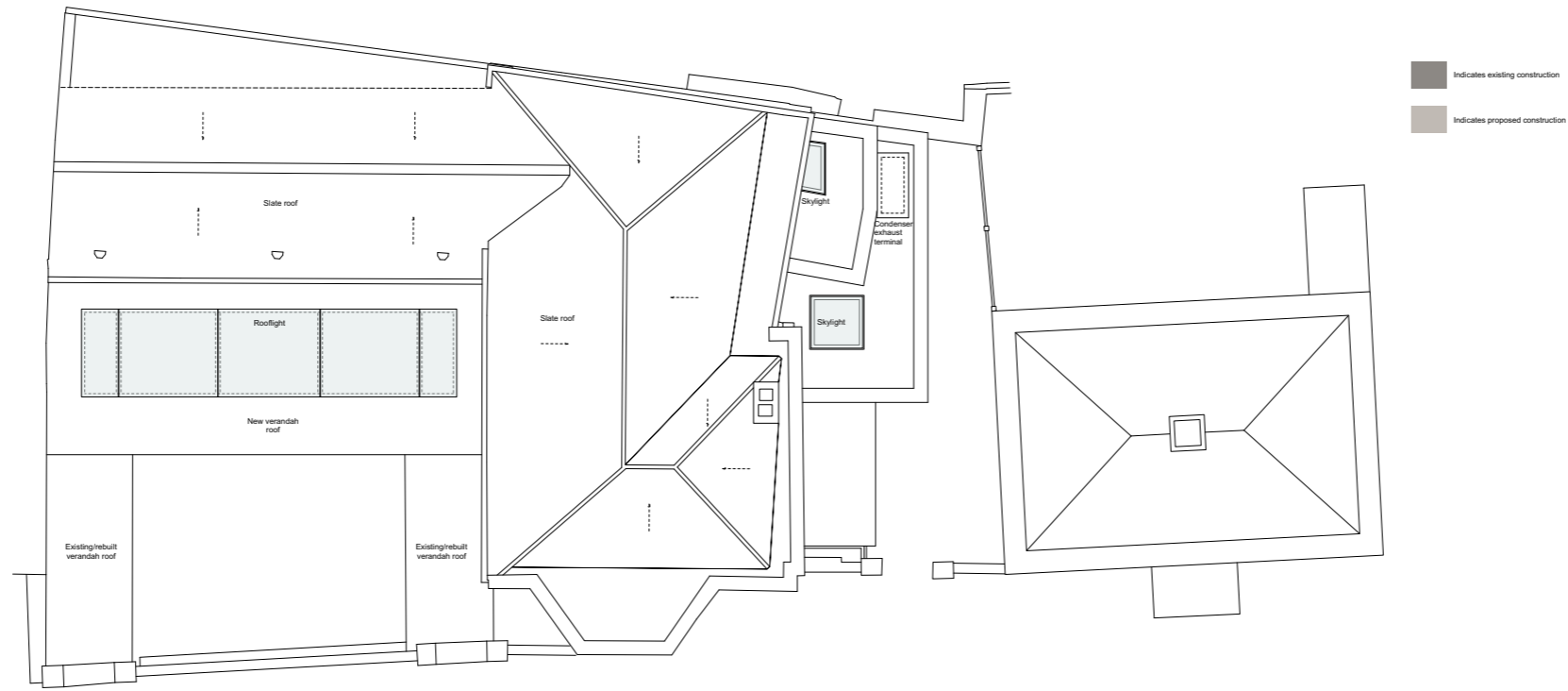


Proposed Ground Floor Plan



Proposed First Floor Plan

7.2 Approved Proposed Drawings

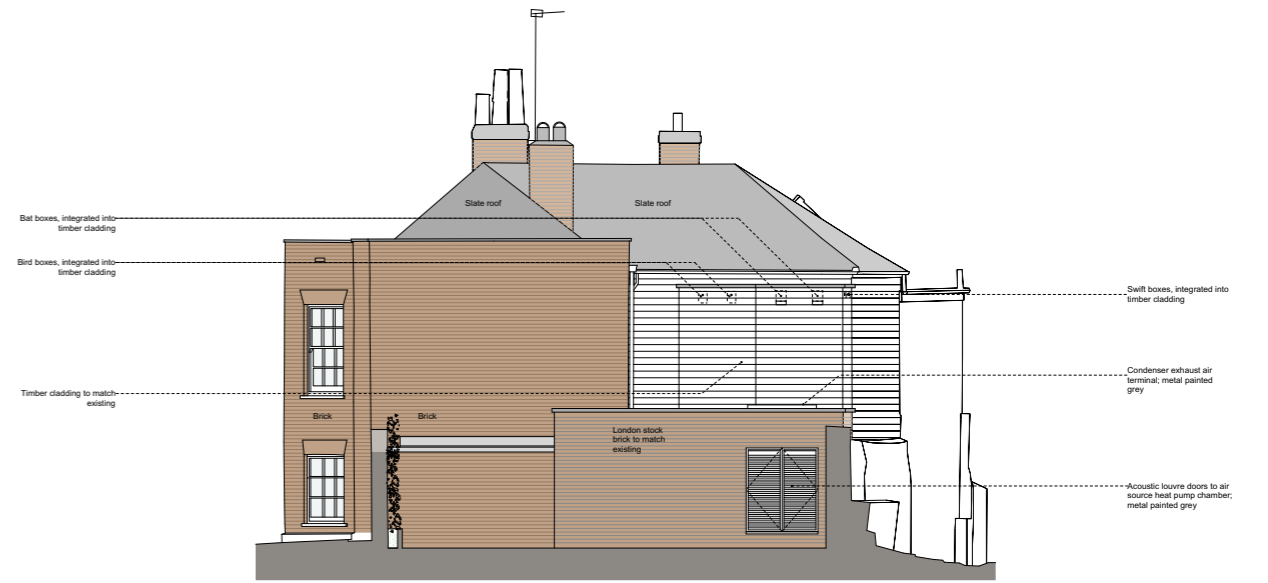


Proposed Roof Plan



Proposed Street Elevation

7.2 Approved Proposed Drawings



Elevation 2

Proposed South-West Elevation

Proposed South-East Elevation



8 Church Walk, Church Cottage

5-6 Church Walk, The Parish Rooms
Richmond Team Ministry

Proposed North-East Elevation



Proposed North-West Elevation

7.2 Approved Proposed Drawings



Proposed Section A-A



Proposed Section B-B



Proposed Section C-C



Proposed Section D-D

7.2 Approved Proposed Drawings



Proposed Section E-E

7. Approved Scheme (23/3186/FUL)

7.3 Planning Approval Letter

Place Division / Development Management

Web: www.richmond.gov.uk/planning
Email: envprotection@richmond.gov.uk
Tel: 020 8891 1411
Textphone: 020 8891 7120



A handwritten signature in black ink, appearing to read 'R. Angus'.

Robert Angus
Head of Development Management

Hugh Cullum
Hugh Cullum Architects Ltd
61B Judd Street
London
WC1H 9QT

Letter Printed 22 February 2024

FOR DECISION DATED
22 February 2024

Dear Sir/Madam

The Town and Country Planning Act 1990, (as amended)
Decision Notice

Application: 23/3186/FUL
Your ref: SMR01 Richmond Team Ministry ...
Our ref: DC/KEM/23/3186/FUL/FUL
Applicant: The Revd Wilma Roest
Agent: Hugh Cullum

WHEREAS in accordance with the provisions of the Town and Country Planning Act 1990 and the orders made thereunder, you have made an application received on **28 November 2023** and illustrated by plans for the permission of the Local Planning Authority to develop land situated at:

6 Church Walk Richmond TW9 1SN

for

Extension to courtyard. Side extension to the south-east of the Parish Rooms. Change of use to the ground floor of the Parish Rooms, from A3 (restaurants and cafes) to E(g)(i) (offices for admin functions); the existing use F2(b) (halls or meeting places for the principal use of the local community) is to be retained and extended. Provision of an air source heat pump.

NOW THEREFORE WE THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF RICHMOND UPON THAMES acting by the Council of the said Borough, the Local Planning Authority HEREBY GIVE YOU NOTICE pursuant to the said Act and the Orders made thereunder that permission to develop the said land in accordance with the said application is hereby **GRANTED** subject to the conditions and informatives summarised and listed on the attached schedule.

Yours faithfully

7.3 Planning Approval Letter

SCHEDULE OF CONDITIONS AND INFORMATIVES FOR APPLICATION 23/3186/FUL

APPLICANT NAME

The Revd Wilma Roest
The Vicarage
Ormond Road
Richmond
TW10 6TH

AGENT NAME

Hugh Cullum
61B Judd Street
London
WC1H 9QT

SITE

6 Church Walk Richmond TW9 1SN

PROPOSAL

Extension to courtyard. Side extension to the south-east of the Parish Rooms. Change of use to the ground floor of the Parish Rooms, from A3 (restaurants and cafes) to E(g)(i) (offices for admin functions); the existing use F2(b) (halls or meeting places for the principal use of the local community) is to be retained and extended. Provision of an air source heat pump.

SUMMARY OF CONDITIONS AND INFORMATIVES

CONDITIONS

AT01	Development begun within 3 years
U0175624	Approved Drawings
U0175625	Materials / details to be approved
U0175626	Boundary Wall
U0175627	Acoustic Report
U0175628	SUDS
DV49A	Construction Management Plan
U0175629	Submitted Arboricultural Details
U0175630	Archaeology
U0175631	Fire Safety
U0175632	NRMM

INFORMATIVES

U0089247	Composite Informative
U0089248	NPPF APPROVAL - Para. 38-42
U0089249	Archaeology

DETAILED CONDITIONS AND INFORMATIVES

DETAILED CONDITIONS

AT01 Development begun within 3 years

The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of this permission.

REASON: To conform with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004.

U0175624 Approved Drawings

The development hereby permitted shall be carried out in accordance with the following approved plans and documents, where applicable.

442-EGA01_P1, 442-EGA02_P1, 442-EGA03_P1, 442-EGA04_P1, 442-PGA01_P1, 442-PGA02_P1, 442-PGA03_P1, 442-PGA04_P1, 442-SK01_P1, SMR01-E001_C, SMR01-E002_C, SMR01-E100_C, SMR01-E101_C, SMR01-E102_C, SMR01-E160_A, SMR01-E200_C, SMR01-E201_C, SMR01-E202_C, SMR01-E210_C, SMR01-E211_C, SMR01-E300, SMR01-P002_D, SMR01-P100_E, SMR01-P101_E, SMR01-P102_E, SMR01-P150_D, SMR01-P151_D, SMR01-P160_A, SMR01-P200_E, SMR01-P201_E, SMR01-P202_E, SMR01-P210_E, SMR01-P211_E, SMR01-P212_E, SMR01-P300, SMR01-P301 & SMR01-P302 received on 28 Nov 2023 and SMR01-P310 & SMR01-P311 received on 01 Feb 2024..

REASON: To accord with the terms of the application, for the avoidance of doubt and in the interests of proper planning.

U0175625 Materials / details to be approved

Prior to commencement of relevant works, details shall be submitted to and approved in writing by the Local Planning Authority of the design and external finishes for:

- hard surfacing to the courtyard;
- sample panels of facing brickwork to the proposed side extension, showing the proposed colour, texture, mortar and pointing technique;
- veranda posts;
- bird and bat boxes in the side extension; and
- cycle storage

The relevant works shall not be carried out other than in accordance with the approved details.

No other new external finishes (including fenestration), including works of making good, shall be carried out other than in materials to match the existing, except where indicated otherwise on the submitted application form and/or approved drawings and approved details.

REASON: To ensure that the proposed development is in keeping with the existing building and does not prejudice the appearance of the locality.

U0175626 Boundary Wall

The works to the boundary wall between 5/6 Church Walk and 8 Church Walk, shall not be carried out otherwise than in brickwork, mortar, pointing technique and finish to match that of the existing.

REASON: To protect the integrity of the building of townscape merit and ensure the development does not prejudice the appearance of the locality and conservation area.

U0175627 Acoustic Report

7. Approved Scheme (23/3186/FUL)

7.3 Planning Approval Letter

The air source heat pump hereby permitted shall not be installed other than in strict accordance with the details provided in the acoustic report submitted by EMTEC reference QF10557/PF7038/RP1_00 and dated 28th September 2023. The plant shall thereafter not be operated other than in accordance with the approved acoustic report and with the vibration measures retained.

REASON: To protect the amenities of neighbouring occupiers.

U0175628 SUDS

Prior to commencement of groundworks (excluding site investigations and demolition), a final detailed drainage design including drawings and supporting calculations shall be submitted to and approved in writing by the Local Planning Authority. A detailed management plan confirming routine maintenance tasks and responsibility for all drainage components shall also be submitted and approved in writing with the Local Planning Authority to demonstrate how the drainage system is to be maintained for the lifetime of the development. The approved details shall be implemented prior to the occupation of the development hereby approved.

REASON: To prevent the risk of flooding to and from the site in accordance with relevant policy requirements including but not limited to London Plan Policy SI13, its associated Sustainable Design and Construction SPG, the Non-Statutory Technical Standards for Sustainable Drainage Systems and Richmond Council's Local Plan Policy LP 21.

DV49A Construction Management Plan

No development shall take place, including any works of demolition, until a detailed Construction Management Plan (to include any demolition works) using the Council's proforma document (https://www.richmond.gov.uk/media/22165/construction_management_plan_guidance_notes.pdf) has been submitted to and approved in writing by the Local Planning Authority. The development shall not be implemented other than in accordance with the approved plan.

The Statement shall detail :

1. Contact details, including a 24hr emergency contact (details of which shall be displayed on any hoarding / security fencing)
2. Programme length and phasing
3. The number, type and dimensions of vehicles required
4. Vehicle routing
5. Details of holding areas for construction traffic and communication strategy for their arrival
6. Methods of spoil removal and concrete supply
7. Details and location where plant and materials will be loaded and unloaded
8. Security hoarding and maintenance of such
9. Site setup drawings showing the position of vehicles, skips, concrete supply, etc. at a minimum scale of 1:200, showing the site in context of the surrounding highway and neighbouring properties
10. On classified roads generally, vehicles will be expected to enter and exit the site in forward gear. Swept Path Analysis drawings will be required to demonstrate this
11. Details of how the safety of highway users and vulnerable pedestrians will be managed
12. Details of how access to neighbouring properties will be maintained
13. Details of how any trees and street furniture (i.e. lighting columns, communications cabinets, bollards, etc.) are to be protected during the works
14. Details of any required footway and/or road closures, or highway licences
15. Any necessary parking suspension details
16. Details of any wheel-washing facilities, if required
17. Details of measures that will be applied to control the emission of noise, vibration and dust including working hours. This should follow Best Practice detailed within BS

5228-1:2009+A1:2014, Code of Practice for Noise and Vibration Control on Construction and Open Sites; as well as for dust control: COSHH 2002 (as amended 2020), The London Plan 2021 Policy SI-1-D and HSE Construction Information Sheet CIS36

18. Where applicable, the Construction Management Statement should be written in conjunction with the Arboricultural Method Statement, and in accordance with British Statement 5837:2012 'Trees in relation to design, demolition and construction - recommendations', in particular section 5.5, 6.1, 6.2, 6.3 and 7.

REASON: In the interests of highway and pedestrian safety together with the amenity of the area and in order to demonstrate the development would not have an unacceptable impact on the operation of the public highway and neighbours.

U0175629 Submitted Arboricultural Details

A. The development hereby approved shall not be implemented other than in accordance with the principles and methodology as described within the approved Arboricultural details "Arboricultural Planning Report Ref: 23 2384, dated 29/08/2023", unless otherwise previously agreed in writing with the local planning authority.

B. Prior to commencement of works, confirmation of the appointment of a retained Arboricultural consultant to conduct and submit an auditable system of site supervision and monitoring shall be submitted to the Arboricultural Officer.

C. Monitoring reports shall be submitted to the Arboricultural Officer upon completion of works hereby approved.

REASON: To ensure that the tree(s) are not damaged or otherwise adversely affected by demolition, building operations, excavations and soil compaction.

U0175630 Archaeology

No demolition or development shall take place until a written scheme of investigation (WSI) has been submitted to and approved by the local planning authority in writing. For land that is included within the WSI, no demolition or development shall take place other than in accordance with the agreed WSI, which shall include the statement of significance and research objectives, and:

A. The programme and methodology of site investigation and recording and the nomination of a competent person(s) or organisation to undertake the agreed works.

B. Where appropriate, details of a programme for delivering related positive public benefits.

C. The programme for post-investigation assessment and subsequent analysis, publication & dissemination and deposition of resulting material. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

REASON: To safeguard the archaeological interest on this site.

U0175631 Fire Safety

The development must be carried out in accordance with the provisions of the 'Fire Safety Strategy' received on 28 Nov 2023 unless otherwise approved in writing by the Local Planning Authority.

REASON: To ensure that the development incorporates the necessary fire safety measures in accordance with the Mayor's London Plan Policy D12.

U0175632 NRMM

Non-road mobile machinery during onsite construction of any phase of development, all non-road transportable industrial equipment or vehicles which are fitted with an internal diesel powered compression ignition engine between 37 and 560KW and not intended

7. Approved Scheme (23/3186/FUL)

7.3 Planning Approval Letter

for transporting goods or passengers on roads are required to meet Stage IIIB of EU Directive 97/68/E and be NRMM registered. Such vehicles must be run on ultra low sulphur diesel (also known as ULSD 'cleaner diesel' or 'green diesel').

"Ultra low sulphur diesel" means fuel meeting the specification within BS EN 590. Where these standards are succeeded, they should be applied when reasonable. Exemptions to these standards may be granted for specialist equipment or for equipment with alternative emission reduction equipment or run on alternative fuels. Such exemptions shall be applied for in writing to the local planning authority in advance of the use of such vehicles, detailing the reasons for the exemption being sought and clearly identifying the subject vehicles. Exemptions that are granted will be in writing and such vehicles must not be used until written exemption has been issued by the local planning authority.

No vehicles or plant to which the above emission standards apply shall be on site, at any time, whether in use or not, unless it complies with the above standards, without the prior written consent of the local planning authority.

Reason: To protect the amenity of future occupants and/or neighbours.

DETAILED INFORMATIVES

U0089247 Composite Informative

Reason for granting:

The proposal has been considered in the light of the Development Plan, comments from statutory consultees and third parties (where relevant) and compliance with Supplementary Planning Guidance as appropriate. It has been concluded that there is not a demonstrable harm to interests of acknowledged importance caused by the development that justifies withholding planning permission.

Principal Policies:

Where relevant, the following have been taken into account in the consideration of this proposal:-

Local Plan Policies: LP1, LP3, LP4, LP7, LP8, LP21, LP22, LP25, LP28 & LP41
Supplementary Planning Guidance: Buildings of Townscape Merit, Design Quality, Sustainable Construction Checklist, Development Control for Noise Generating and Noise Sensitive Development & Richmond and Richmond Hill Village Plan
CA17 Central Richmond Conservation Area Statement & CA17 Central Richmond Conservation Area Study

Building Regulations:

The applicant is advised that the erection of new buildings or alterations to existing buildings should comply with the Building Regulations. This permission is NOT a consent under the Building Regulations for which a separate application should be made. For application forms and advice please contact the Building Control department, 2nd floor, Civic Centre, 44 York Street, Twickenham, TW1 3BZ. (Tel: 020 8891 1411). If you alter your proposals in any way, including to comply with the Building Regulations, a further planning application may be required. If you wish to deviate in any way from the proposals shown on the approved drawings you should contact the Development Management department, 2nd floor, Civic Centre, 44 York Street, Twickenham, TW1 3BZ. (Tel: 020 8891 1411).

Damage to the public highway:

Care should be taken to ensure that no damage is caused to the public highway adjacent to the site during demolition and (or) construction. The Council will seek to recover any expenses incurred in repairing or making good such damage from the owner of the land in question or the person causing or responsible for the damage.

BEFORE ANY WORK COMMENCES you MUST contact the London Borough of Richmond upon Thames, 44 York Street, Twickenham TW1 3BZ, Telephone 020 8891 1411 to arrange a pre-commencement photographic survey of the public highways adjacent to and within the vicinity of the site. The precondition survey will ensure you are not charged for any damage which existed prior to commencement of your works.

If you fail to contact us to arrange a pre commencement survey then it will be assumed that any damage to the highway was caused by your activities and you will be charged the full cost of repair.

Once the site works are completed you need to contact us again to arrange for a post construction inspection to be carried out. If there is no further damage then the case will be closed. If damage or further damage is found to have occurred then you will be asked to pay for repairs to be carried out.

Noise control - Building sites:

The attention of the applicant is drawn to the requirements of Section 60 of the Control of Pollution Act 1974 in respect of the minimisation of noise and vibration on construction and demolition sites. Application, under section 61 of the Act for prior consent to the works, can be made to the Environmental Health department.

Under the Act the Council has certain powers to control noise from construction sites. Typically the council will limit the times during which sites are permitted to make noise that their neighbours can hear.

For general construction works the Council usually imposes (when necessary) the following limits on noisy works:-

Monday to Friday 8am to 6pm
Saturdays 8am to 1pm
Sundays and Public Holidays - No noisy activities allowed

Applicants should also be aware of the guidance contained in British Standard BS 5228-1:2009+A1:2014 - Noise and vibration control on construction and open sites.

Any enquiries for further information should be made to the Noise & Nuisance Team, Regulatory Services Partnership NoiseandNuisance@merton.gov.uk.

U0089248 NPPF APPROVAL - Para. 38-42

In accordance with paragraphs 38-42 of the National Planning Policy Framework, Richmond upon Thames Borough Council takes a positive and proactive approach to the delivery of sustainable development, by:

- o Providing a formal pre-application service
- o Providing written policies and guidance, all of which is available to view on the Council's website
- o Where appropriate, negotiating amendments to secure a positive decision
- o Determining applications in a timely manner.

In this instance:

- o The application was acceptable as submitted, and approved without delay.

U0089249 Archaeology

The written scheme of investigation will need to be prepared and implemented by a suitably professionally accredited archaeological practice Greater London. This condition is exempt from deemed discharge under schedule 6 of The Town and Country Planning (Development Management Procedure) (England) Order 2015.

7.3 Planning Approval Letter

END OF SCHEDULE OF CONDITIONS AND INFORMATIVES FOR APPLICATION
23/3186/FUL

FUL Applications

Making an Appeal – Summary Guidance

Whether to appeal

If the Local Planning Authority (LPA) turn down your application, you should look carefully at the reasons why they turned it down before you make an appeal. You should speak to the LPA to see if you can sort out the problem - perhaps by changing your proposal. An appeal should only ever be a last resort.

Type of appeal:

Planning Application

Appeal time:

Within six months of the date of the council's decision letter.

Who can appeal?

The applicant or their agent may lodge an appeal.

The right of appeal:

You can appeal against the council's decision:

- If you applied to the Local Planning Authority and they:
 - Refused permission;
 - Gave permission but with conditions you think are inappropriate;
 - Haven't approved the details of a scheme which they or the Secretary of State have already given outline planning permission for or;
 - Have approved the details of a scheme but with conditions you think are inappropriate or unreasonable.
- If the LPA rejected a proposal arising from a condition or limitation on a planning permission.
- If the LPA don't decide your application within the time allowed. Normally the time allowed is eight weeks from when they accept your application.
- If the LPA told you they needed more information before they could decide your outline planning application, but you do not want to supply this.

You will make your appeal to the Department for Communities and Local Government of which the Planning Inspectorate is a part. Most are decided by specialist officers in the Planning Inspectorate. Only the person or business applying for consent to display an advertisement may appeal. If the council issues a discontinuance notice, only those on whom the notice is served may appeal.

The appeal process:

Appeals must be made

- Online at www.planninginspectorate.gov.uk, or
- Initial Appeals, The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN.

It will be expected that all appeal documentation will be submitted electronically.

The process is fully documented on the website of the Planning Inspectorate www.planninginspectorate.gov.uk, however in summary there are three main types of appeal:

Written procedure:

Written evidence is considered from the applicant/agent/business and the council. The council will send copies of any letters of objection or support they received when considering your application. Within six weeks of the Inspectorate receiving your appeal forms the council will send a copy of their statement to the Inspectorate. You must make any comment on these within three weeks.

7.3 Planning Approval Letter

Hearing procedure:

Hearings allow you and the council to exchange views and discuss your appeal. Before the hearing the council will send a copy of their statement to you and the Inspectorate. You can comment on their statement in writing otherwise the Inspectorate will treat the reasons given in your appeal form as the basis of your case for discussion.

Hearings are usually held in council offices. The Inspector leads the discussion and invites the people involved to put their points across. The Inspector will visit the site unaccompanied before the hearing and will make a further accompanied visit as part of the hearing.

Inquiry procedure:

Inquiries are normally for large-scale applications. A public inquiry is a formal procedure in which both parties have legal representation.

Making your views known on someone else's appeal:

The LPA will notify anyone who took part in the consultations when you first applied for permission that you are appealing. For appeals decided by hearing or inquiry the LPA will tell interested people when and where this will be and let them know that they can attend. The Inspectorate will also take account of the views of certain groups who have a right to comment, for example, owners of a site, local amenity groups and so on.

Costs:

Normally you and the council will pay for your own expenses in an appeal. You can only claim costs when you can show that the council have behaved in an unreasonable way causing unnecessary expense.

Who to contact?

The Planning Inspectorate

Website www.planninginspectorate.gov.uk

Email enquiries@pins.gsi.gov.uk

Telephone 0303 444 5000

Write to Initial Appeals, The Planning Inspectorate, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN

London Borough of Richmond upon Thames

Website www.richmond.gov.uk/planning

Email planningappeals@richmond.gov.uk

Telephone 020 8891 1411 for advice

Write to The Appeals Officer, Development Control, Civic Centre, 44 York Street, Twickenham TW1 3BZ