

Book Shop and Ice Cream Parlour Roof
Ham House
Proposed repair and re-roofing
Heritage Statement



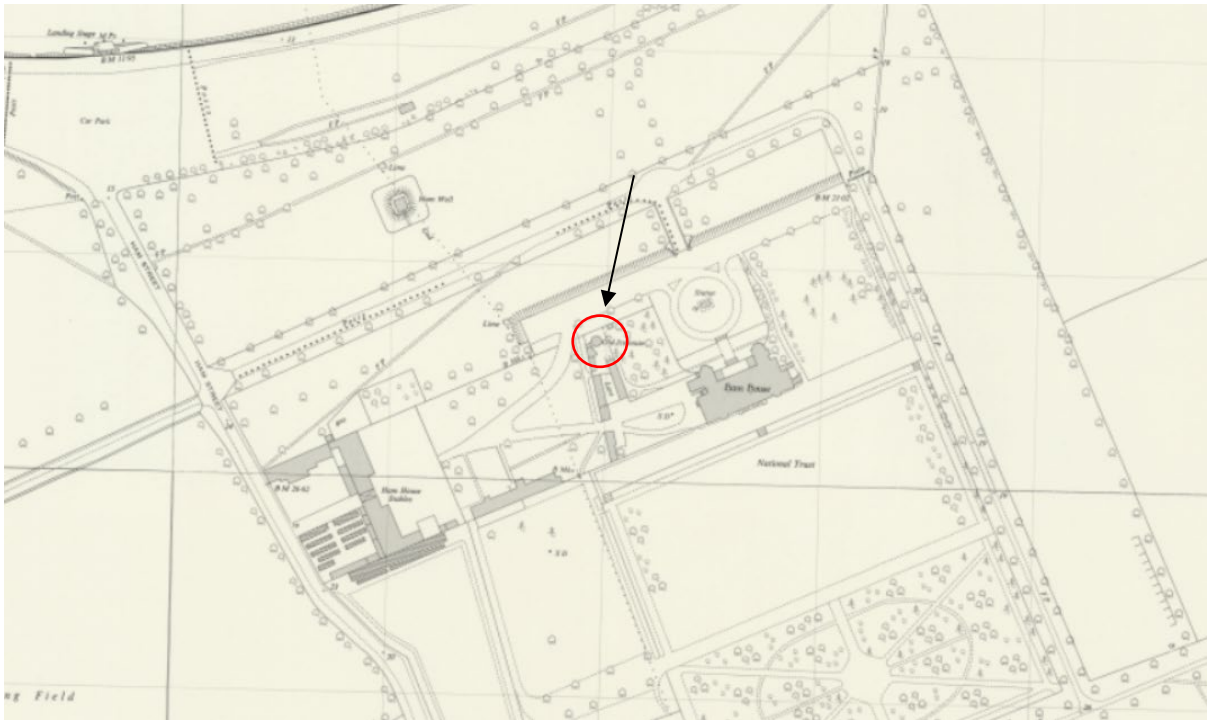
December 2024

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1 BRIEF

Proposed repair and replacement of modern steel and asbestos roof.



Site Location plan 1936

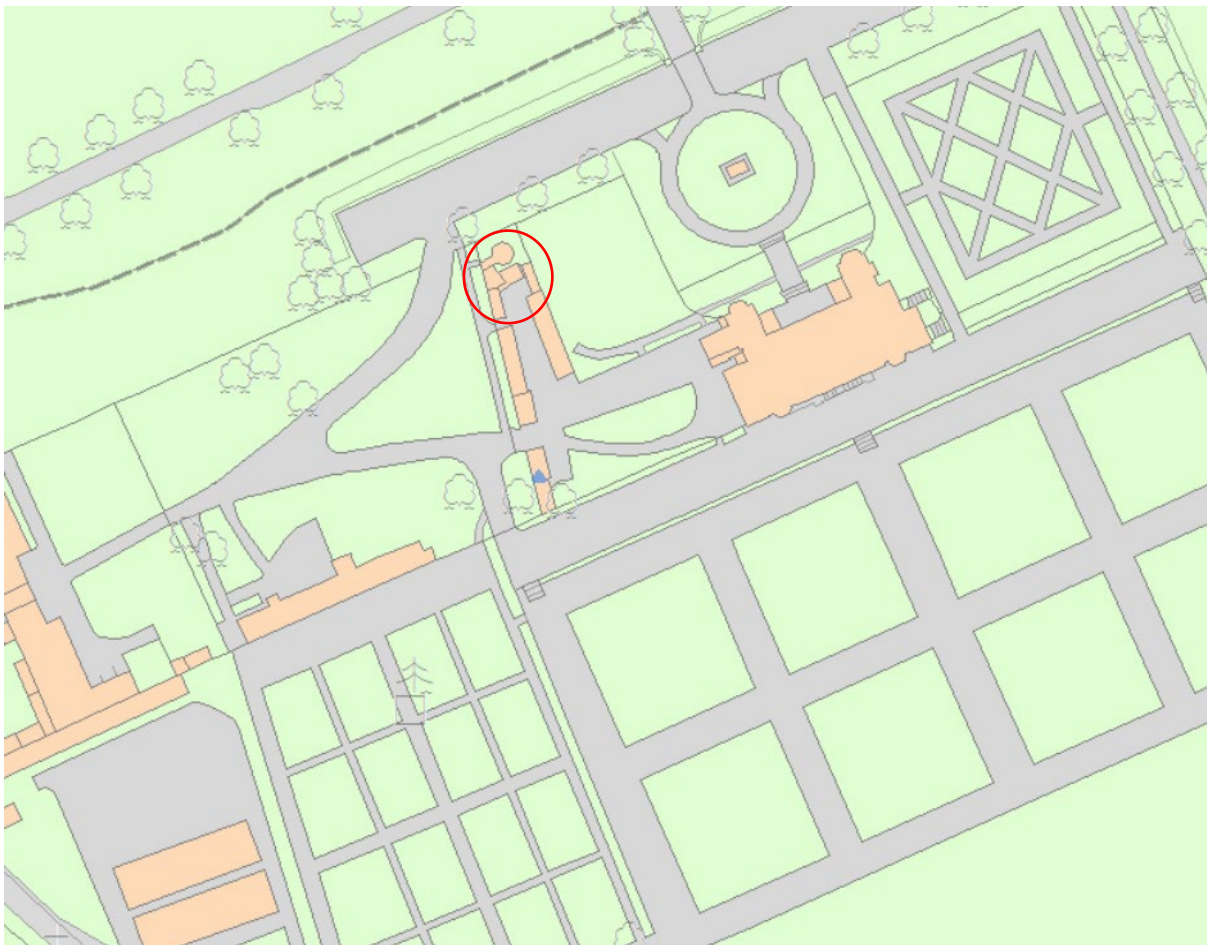
2 LOCATION

Ham House Ham, London TW10 7RS

The bookshop is located on the east Mansion below the ice house within the historic precinct of Ham House.

The book shop is not independently listed but is within the curtilage of Ham House, in the conservation area and within a Registered Park and Garden.

Location plan



Location plan (not to scale)

3 GENERAL DESCRIPTION

The bookshop and ice cream parlour are lean structures built against the inner precinct wall. Access is via a pair of doors to the south. The roof of the upper section has been replaced in steel and the lower section retains its asbestos cement covering. The roof is in poor condition and has numerous repairs.



Ice cream parlour roof.

Both roofs suffer from considerable condensation issues internally in addition to leaks.



Interior of the bookshop

The rainwater goods are lead with cast iron gutters. Later additions are in black PVC.

Listing description

SERVICE YARD ENTRANCE TO WEST OF HOUSE

Heritage Category: **Listed Building**
Grade: **II**
List Entry Number: **1358096**
Date first listed: **10-Jan-1950**
List Entry Name: **SERVICE YARD ENTRANCE TO WEST OF HOUSE**

Location

Statutory Address: **SERVICE YARD ENTRANCE TO WEST OF HOUSE, HAM HOUSE**
District: **Richmond upon Thames (London Borough)**
Parish: **Non Civil Parish**
National Grid Reference: **TQ 17203 73017**
Details **1. 5028 HAM HOUSE**

Service yard entrance to west of house TQ 1773 21/81 10.1.50
II GV

2. Probably later C17. Two lodges with gatepiers between. Plum brick with red dressings, tiled hipped roof. Each 2 windows wide with central door. Single storeyed. Windows 2-light, with timber mullions and transoms. Cornice to eaves. Later extensions to outer sides of each. Pair of fine rubbed brick rusticated gatepiers between, with portland stone bases, cornices and pineapples.

Listing NGR: TQ1720373017

Ice house

Heritage Category: **Listed Building**
Grade: **II**
List Entry Number: **1358079**
Date first listed: **24-Jun-1983**
List Entry Name: **ICE HOUSE**
Statutory Address 1: **ICE HOUSE, HAM HOUSE**
Location
Statutory Address: **ICE HOUSE, HAM HOUSE**
County: **Greater London Authority**
District: **Richmond upon Thames (London Borough)**
Parish: **Non Civil Parish**
National Grid Reference: **TQ 17195 73065**

Details

1. 5028 HAM HOUSE

Icehouse TQ 1773 21/80

II

2. Probably C18. Rendered brick. Domed cylinder with access passage to west. Fine "headerbond" brickwork visible inside, which is lit by tiny oculi.

Listing NGR: TQ1719573065

4 PLANNING HISTORY

Listed building consent reference 24/1679/LBC was granted in August 2024 for a replacement roof to the bookshop and ice cream parlour at Ham House.



Ice cream parlour entrance



PVC Gutters and failed flashings to north elevation.

South and west elevations with the failed drainage on the west gabled elevation.

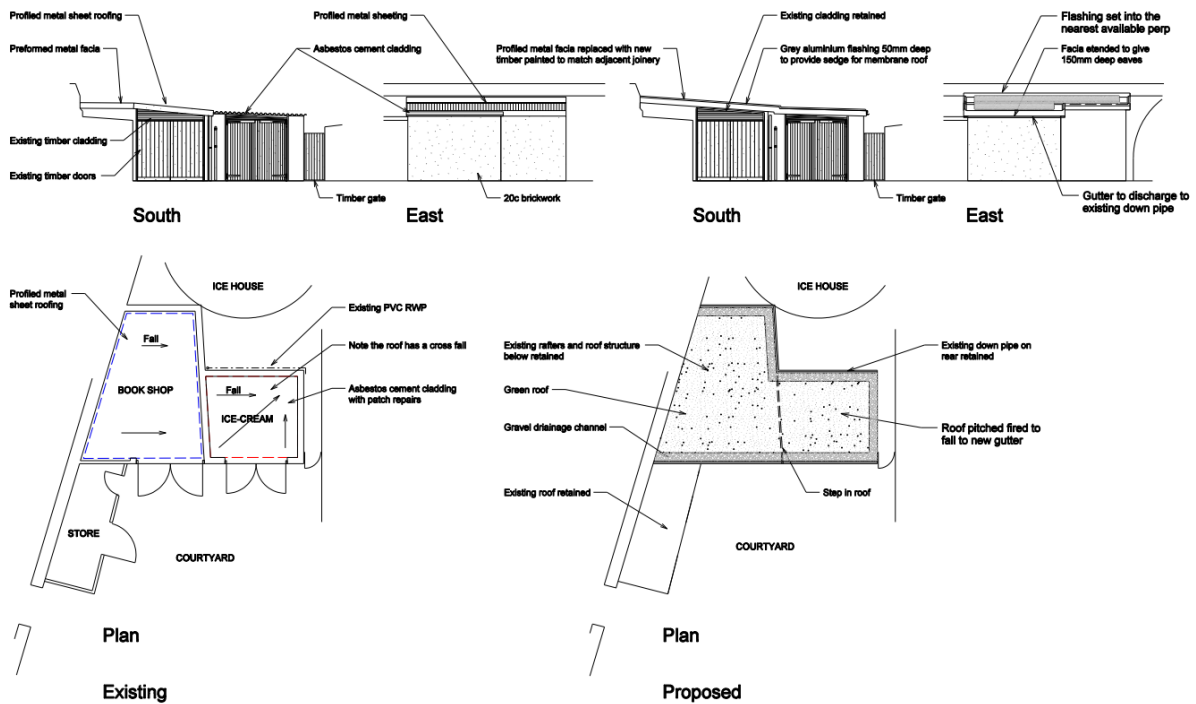
5 PROPOSAL

As noted in section 4 listed building consent was granted in August 2024 for a new roof to be installed to the second-hand bookshop and ice cream parlour at Ham House, however, when work began and the original roof was removed it was discovered that the roof structure was not strong or stable enough to support a new roof, especially with the inclusion of a green roof. To address this issue it is now proposed to install a new timber wall plate on either side of the second-hand bookshop to help support the roof joists. The current roof joists will remain but new timber roof joists will be installed evenly in between the current ones - the roof structure will then be in accordance with the Building Regulations. Across both roofs OSB decking is to be installed across the joists to give further structural support for the new roof to ensure that the structure is strong enough for the green roof to be installed.

Once constructed the new roof will prevent condensation forming on the underside of the roof and the green roof will reduce run-off from the fabric. The green roof covering is made up of sedums which require minimal maintenance and reduce the visual impact when seen from the mansion.

In summary the proposed works entail:

1. Strip the existing roof coverings.
2. Inspect the rafters.
3. Provide a new deck and covering in OSB with insulation above.
4. Provide a single ply membrane.
5. Provide green roof trays with a gravel margin.



Proposed elevations (not to scale)

6. STATUTORY REQUIREMENTS

Disabled access

The access will remain as existing.

Energy statement

No alterations are proposed to the existing dwelling.

Ecology

The green roof will improve biodiversity and reduce run-off. No alterations are proposed to the roofs that would affect bats or other birds as metal roofs do not provide suitable habitat and the roof has no voids.