

11.2024

FZA Architecture Ltd
www.fzaarchitecture.com
info@fzaarchitecture.com

+44 203 813 4622
Architects
Registration
Board
ARB
RIBA 

Design and Heritage Statement

71 Clarence Road TW11

This Heritage Statement has been prepared by **FZA Architecture Ltd** on behalf of the applicant, in respect of a planning application for works to the property described in this document, and should be read in conjunction with other drawings and documents accompanying the planning application.

Site Information

- A heritage statement is required due to the property location within the Park Road (Teddington) Conservation Area 22.
- The site neither listed or locally listed as Building of Townscape Merit.
- The site is occupied by a semi-detached four-bedroom single family residential dwelling located to the eastern side of Clarence Road.
- The two-storey property date from the post-war period.
- The property is a four-bedroom single family residential dwelling and its use will remain residential.



Fig. 1: Google Street View

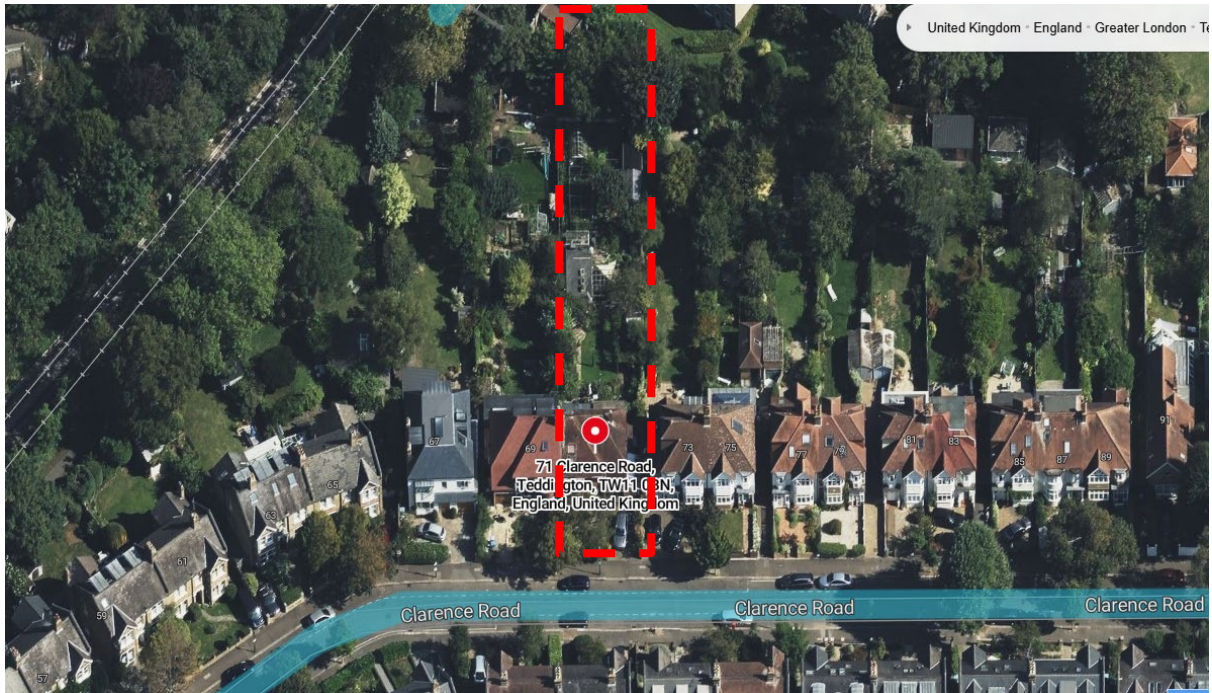


Fig. 2: Aerial View of site

Proposed Development

- Demolition of existing extensions to be replaced by new single storey rear and side / wrap-around extension,
- Addition of proposed 2 roof dormers to the rear (alike the dormers from No.69),
- Addition of 1 roof dormer to the side (alike the dormer from No.73).
- Remodelling of existing outbuilding.
- Demolition of existing lean-to / roof overhang and extension on the footprint of existing lean-too roof. The overall height remains the same at 2.5m external.

Assessing the proposal

- Careful consideration has been given to any potential impact on the surrounding environment.
- The proposal has no effect on the setting of the existing Conservation area.
- The proposed changes are all in keeping with the existing building.
- The development aims to improve the condition and aesthetics in the dwelling, preserve the appearance of the surrounding conservation area and minimally alter the architectural character of the property.

Pre-Planning Advice

Please refer to : 24/P0166/PREAPP

Following the Pre-Planning advice, the proposal has been amended to accommodate the following:

- The rooflights have been amended to match No. 69 following the planers' advice.
- The roof of the side return has been amended to single pitched roof and the front has been amended to a timber façade, following the planers' advice.

Side Dormer

We would like to seek permission for the side dormer, following many local precedents of the exact same type of side roof dormers along the road and immediate surroundings, which are in keeping with the existing houses, as seen below:

1. 73 Clarence Road
2. 77 Clarence Road
3. 79 Clarence Road
4. 83 Clarence Road
5. 85 Clarence Road
6. 87 Clarence Road

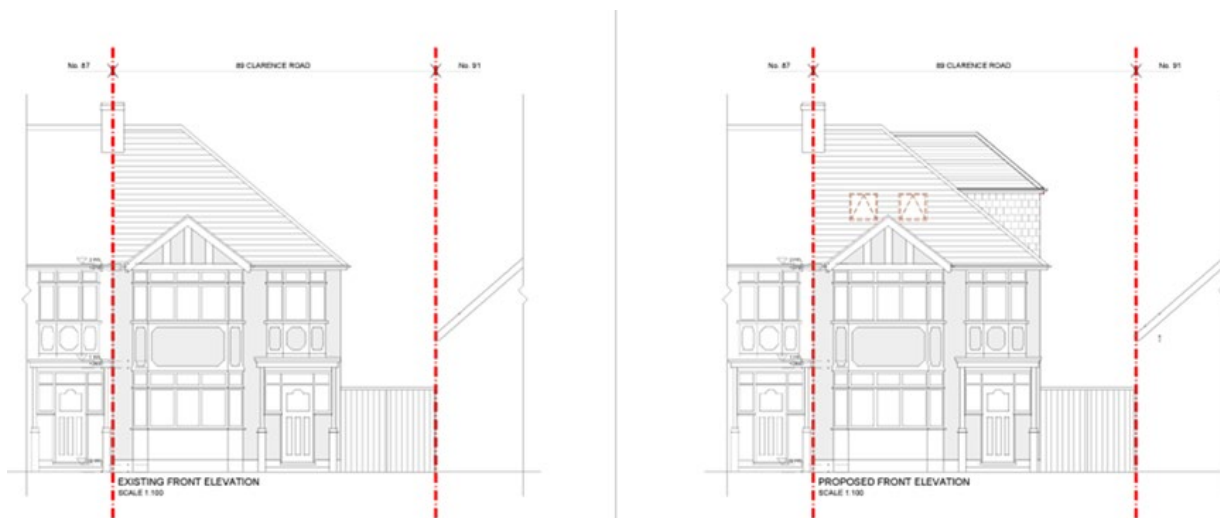


There are also recent examples of the same type of dormer, which have been approved since 2015, following the publication of the 'House Extensions and External Alterations SPD'.

One of those is located on 89 Clarence Road. Please see the details below:

Planning application number: 23/0957/HOT

Granted Permission: 07/06/2023





Nevertheless, given the strong presence of numerous older and recent similar (if not equal) precedents of side dormers on the road and surroundings, we kindly ask you to re-analyse our proposal and re-consider your advice given in the Pre-Planning report.

In addition to the above, it is also worth noticing that No. 69 and No.71 are already asymmetrical as No.69 has removed a chimney stack, where 71 has not. Furthermore, the semi-detached houses next door are also asymmetrical in that 73 has a side dormer and 75 does not:



Conclusion:

The proposed alterations to the dwelling are sympathetic to the original architectural features of the property. The works to the external elevations have been carefully considered to be in keeping with the existing property.