

**3 Berwyn Road
Richmond TW10 5BP**



HERITAGE IMPACT STATEMENT

December 2024

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1.0 INTRODUCTION

1.1 3 Berwyn Road is a two storey, detached 1930's house located at the south end of Berwyn Road. The character of the area is of two storey detached houses, within large plots, along a tree lined road. The property is not listed or locally listed, however the site is located within the Sheen Common Drive Conservation Area (CA69), which was designated in 2004 and extended in 2005. There is no Appraisal for this area, although there is a Character Statement. The site is located within the Borough of Richmond Upon Thames. The Conservation Area is characterised by a mixture of late C18th to mid C19th buildings and later residential terraces and semi-detached houses. The conservation area lies between Upper Richmond Road and Sheen Common and it adjoins the Christchurch Road (13) conservation area to the East. The conservation area is a designated heritage asset.



Source: Council's website; Sheen Common Drive Conservation Area CA69

- 1.2 The property has had a number of alterations over the years, as have other properties within the area. However, No.3 is relatively modest in size compared to the adjacent neighbours, who all have a wide range of extensions, some built up to the boundaries. The proposals for this application are for the demolition of the garage, erection of a two storey side extension and a rear extension, a new roof and dormer on the rear, windows and internal changes.
- 1.3 The works are to be carried out in accordance with the requirements of the Planning (Listed Buildings and Conservation Areas) Act 1990 and the National Planning Policy Framework (NPPF) and associated National Planning Practice Guidance (NPPG), associated guidance; Historic England; Historic Environment Good Practice Advice Notes and Conservation Principles Policies and Guidance, the London Plan, the Local Plan. This Statement aims to assess the principle of the proposed alterations and the impact on the conservation area. The Statement has been written from discussions with the agents Claire Totman Designs, their plans and desk based research. No site visit has been carried out.

2.0 THE SITE

- 2.1 The property is indicated on the map above with a blue pin; source Borough of Richmond Upon Thames website, this confirms the property is within a conservation area (orange) and illustrates it is not listed or locally listed.
- 2.2 The historic architecture of the road has changed little, much to the conservation of the architectural character and sympathetic development of the properties. As the need for more space has arisen however, the properties have been developed, with characterful single storey and two storey side extensions and rear extensions, conservatories to the rear

and extensions in the lofts. The sites are large and can accommodate such development. The proposed scheme aims to retain the historic appearance of the area, from the street frontage and retain the scale and proportions of the existing building, whilst providing a better internal layout for the owners.

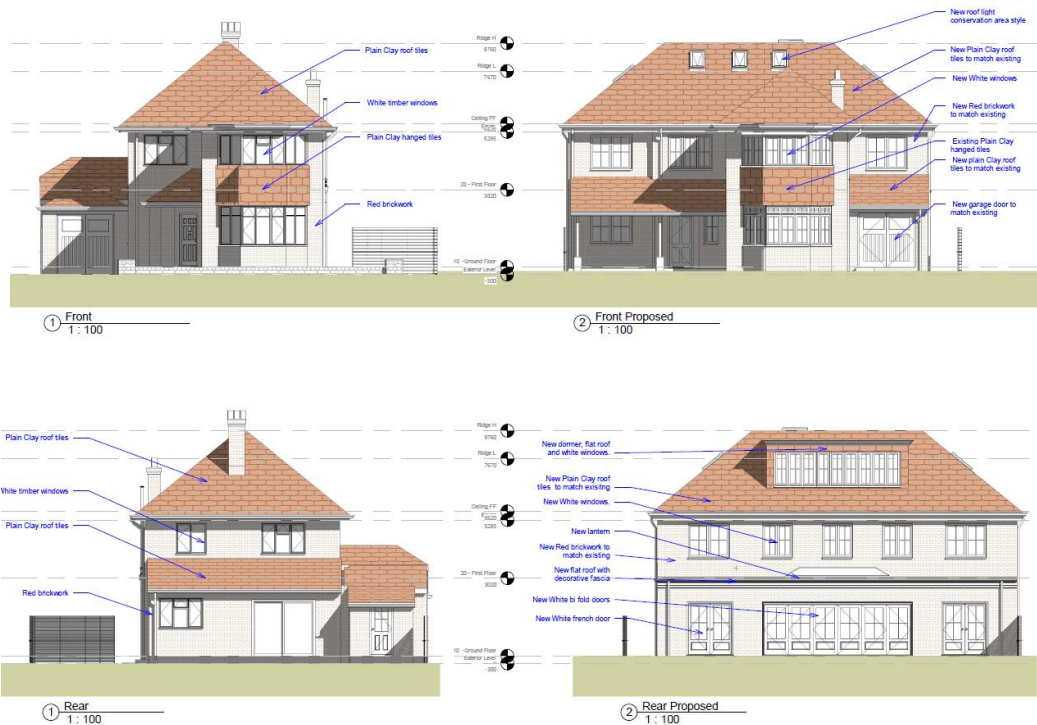
3.0 PROPOSED DEVELOPMENT

3.1 The proposed works are for the demolition of the side garage and retention of the main house, with additions of two, two storey side extensions and a rear extension, a new roof and dormer on the rear, with new windows and internal changes, as detailed on the plans.



Source: Google and Agents photos

3.2 The proposed front elevation of the house extends out to either side with two storey extensions in keeping with the proportions and materials of the existing house. The roof extends over these side extensions, retaining the existing chimney stacks. Three small scale conservation style rooflights are proposed in the front roof, at high level and a flat roofed dormer to the rear. The fenestration is replaced with split pane casements, white to match the existing finish. A side path is retained, for access to the rear garden and maintains a gap between the boundary. External materials are proposed to be in keeping with the existing house, with the balance, design and appearance preserving the character of the area.



Source: Agent: existing and proposed

3.3 A previous application for the demolition of the existing dwelling and the replacement with a new dwelling was permitted in 2018: 16/2704/FUL. It is therefore assumed that the extensions and amendments proposed, designed in keeping with the existing building and materials, whilst retaining the existing house and character are acceptable in principle. The proposals are not considered to have a detrimental impact the conservation area as the proposed works will preserve the character and appearance of the designated asset.



Source: Richmond Council’s website: previous application plans for new house post demolition of existing

4.0 SIGNIFICANCE AND INTEREST

4.1 The National Planning Policy Framework defines significance as ‘the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic.’ Understanding the interests or heritage values that contribute to an asset’s significance, and how they relate to the fabric of the place, is vital to understanding the best means of conservation of the heritage asset.

4.2 Architectural and artistic interests

These are interests that stem from the design and general aesthetic values of a place. They can arise from conscious design, or fortuitously from the way the heritage asset has evolved. More specifically, architectural interest lies in the art or science of the design, construction, craftsmanship and decoration of buildings and structures of all types. Artistic interest derives from other human creative skills, like sculpture.

4.3 Historic interest

An interest derived from past lives and events (including pre-historic), with which heritage assets can be associated, or which they illustrate. Heritage assets with historic interest not only provide a material record of our nation’s history, but also can provide an emotional meaning for communities arising from their collective experience or memory of a place: they can also symbolise wider values, such as faith and cultural identity.

4.4 Archaeological interest

There will be archaeological interest in a heritage asset if it holds, or potentially may hold, evidence of past human activity worthy of expert investigation at some point. Heritage assets with archaeological interest are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them.

5.0 GRADING SIGNIFICANCE

5.1 The following grading system has been adopted to enable the relative weight of the interests or values contributing to the significance of property 3 Berwyn Road and its contribution to the conservation area, to be compared, in accordance with the research:

- A: Exceptional significance
Elements whose values are both unique to the place and relevant to our perception and understanding of architectural and social history in a national and international context. These are the qualities that, for buildings, warrant listing in grade I and II*.
- B: Considerable significance
Elements whose values contribute to the heritage asset's status as a nationally important place. These are the qualities that justify statutory protection at national level.
- C: Some significance
Elements whose values make a positive contribution to the way the place is understood and perceived, primarily in a local context.
- D: Little significance
Elements whose values contribute to the way the place is perceived in a very limited, but positive, way.
- N: Neutral significance
Elements which neither add to, nor detract from, the significance of the place.
- INT: Intrusive
Elements of no historic interest, or aesthetic or architectural merit, that detract from the appearance of the place, or mask the understanding of significant elements.

6.0 SUMMARY

6.1 The property of 3 Berwyn Road is a detached house within the Sheen Common Drive Conservation Area. The Conservation Area is a designated heritage asset and of considerable significance. The property is a characterful property, but it is not of significant architectural, artistic, historic or archeological interest, to be listed or locally listed and has been permitted in the pass for demolition. The applicants wish to retain the building and extend it in keeping with the design and scale.

6.2 The property has had a number of alterations over the years, as is the case with the majority of the properties within the area and it is relatively modest in size when compared to its neighbours. The property benefits from a generous front and rear garden that can accommodate the extensions proposed and retain a large area of amenity garden space around the property, including the side access path.

6.3 The character and appearance of the Sheen Common Drive Conservation Area is of considerable significance. The impact of the proposals on the conservation area are thought to be of some significance: in that the proposed works would have a positive impact on the character and appearance of the conservation area. The proposal aims to conserve the considerable significance the conservation area in a manner appropriate to its designation.

6.4 The proposal has been informed and is in accordance with the NPPF, the Local Plan and the Planning (Listed Buildings and Conservation Areas) Act 1990, by conserving the historic environment in a manner appropriate to the significance and by conserving and enhancing the character and appearance of the Sheen Common Drive Conservation Area.