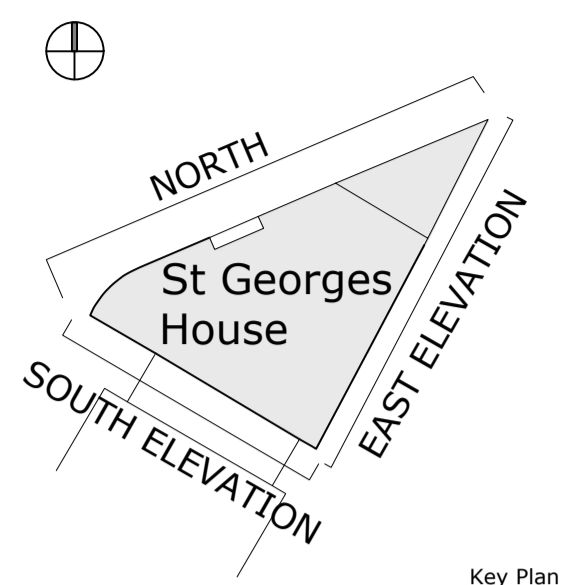




VISUAL SCALE 1:100 @ A1

Do not scale from this drawing
 The contractor is to check all dimensions on site and report any discrepancies to the architect
 All rights described in chapter IV of the copyright, designs and patents act 1988 have been generally asserted

Notes



Key Plan

The remedial solutions proposed herein are based on, and coordinated with, Artec 'Fire Risk Appraisal of External Walls (FRAEW) report' (document reference 00418-ART-XX-XX-RP-FE-0001).

Contractors must satisfy themselves of the viability of proposals prior to any orders being placed. Should the contractor find any discrepancies in the proposals they must be reported to the architect and client immediately.

Notes
 Contractor to allow to carefully remove all fixtures and fittings from facades including, but not limited to CCTV cameras, signage, access control call points, light fixtures, rainwater goods and associated fixings.
 All to be retained & stored during works and reinstated prior to completion. Where CCTV & access control cameras are removed during works, the contractor should proactively engage with the building managing agent to agree temporary alternatives, as necessary.

Contractor to allow to adequately record as existing clay tile cladding on metal frame system prior to removal and store safely to reinstate following remedial work. Any damaged tile to be replaced to match existing.

The proposed remedial solutions assume that the clay tile cladding can be retained; however, it must be carefully removed to allow remedial work to replace insulation and installation of cavity fire barrier. Tendering contractors are encouraged to review this proposal and suggest value engineered solutions, whether the cladding is required to be fully replaced with similar to match existing.

Proposed Materials Key

Existing materials to be replaced on a like for like basis as proposed below

NEW EXTERNAL WALL INSULATED RENDER SYSTEM (COLOUR - WHITE) StoTherm Mineral K (adhesive/mech fixed) EW1 Systems (Masonry) comprising Sto-Mineral Fibre board insulation slab and render finishes to match existing. NBS H21/210

CLAY TILE CLADDING SYSTEM (existing 20mm thick tile on metal bracket support system to be reinstated following installation of new insulation and breather membrane minimum A2-s1, d0 fire rated)

STEEL BALCONY (Timber decking and joists on triangular shape balcony to be replaced with a minimum A2-s1, d0 fire rated material)

SPANDREL PANEL (6mm Enamel glass outer pane, 9mm ventilated air space and 9mm Fibre cement board panel within existing glazing system to be retained) MDF board and insulation behind to be replaced with minimum A2-s1, d0 fire rated material

Light Fittings to be retained/reinstated (any penetrations are to be suitably fire stopped in work zone)

Vent Fittings to be replaced with like for like non-combustible product, refer to details for specification

Clear glazing panel to balconies and guarding balustrades

Proposed Cavity Fire Barrier Key

E30 I15 minimum Cavity Barrier

E30 I15 minimum Cavity Barrier

Locations of Cavity barriers shown indicatively, refer to section & plans for accurate locations and specific type of cavity barrier required

Cavity Fire Barriers to be provided

- At all compartment floors and walls
- To all windows and opening surrounds
- To the top of all walls
- All service penetrations through the structure and external finish

(*All the vertical cavity barriers to be extended to the underside of the coping)

Notes
 All drawn information is based on survey drawings produced by Ambler Group Ltd- JSA can take no responsibility for the accuracy of that information.
 All Dimensions must be checked on site before fabrication.

P2	Planning Issue	16/12/24	ST	DL
P1	Initial Issue	3/12/24	ST	DL
Rev	Description	Date	By	Chk

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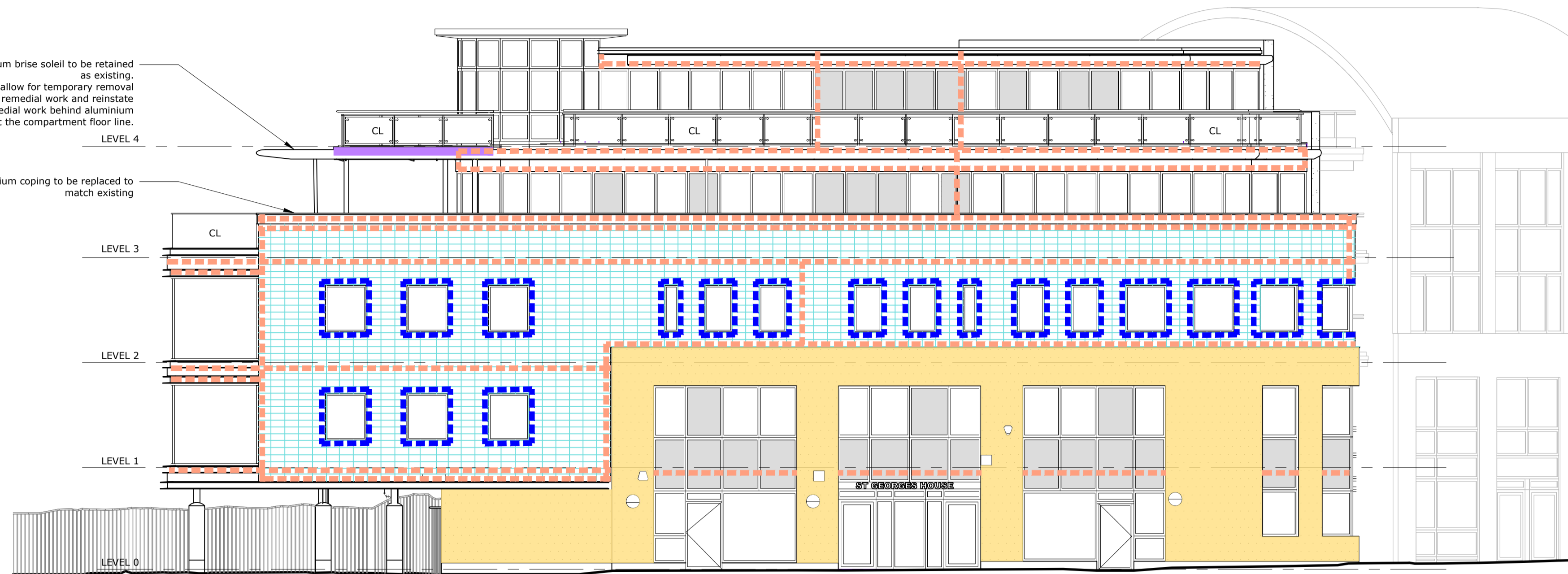
Project
 St George's House
 Richmond TW9 2LE
 (External Wall Remedial Works)

Drawing
 Proposed Scoping Elevations

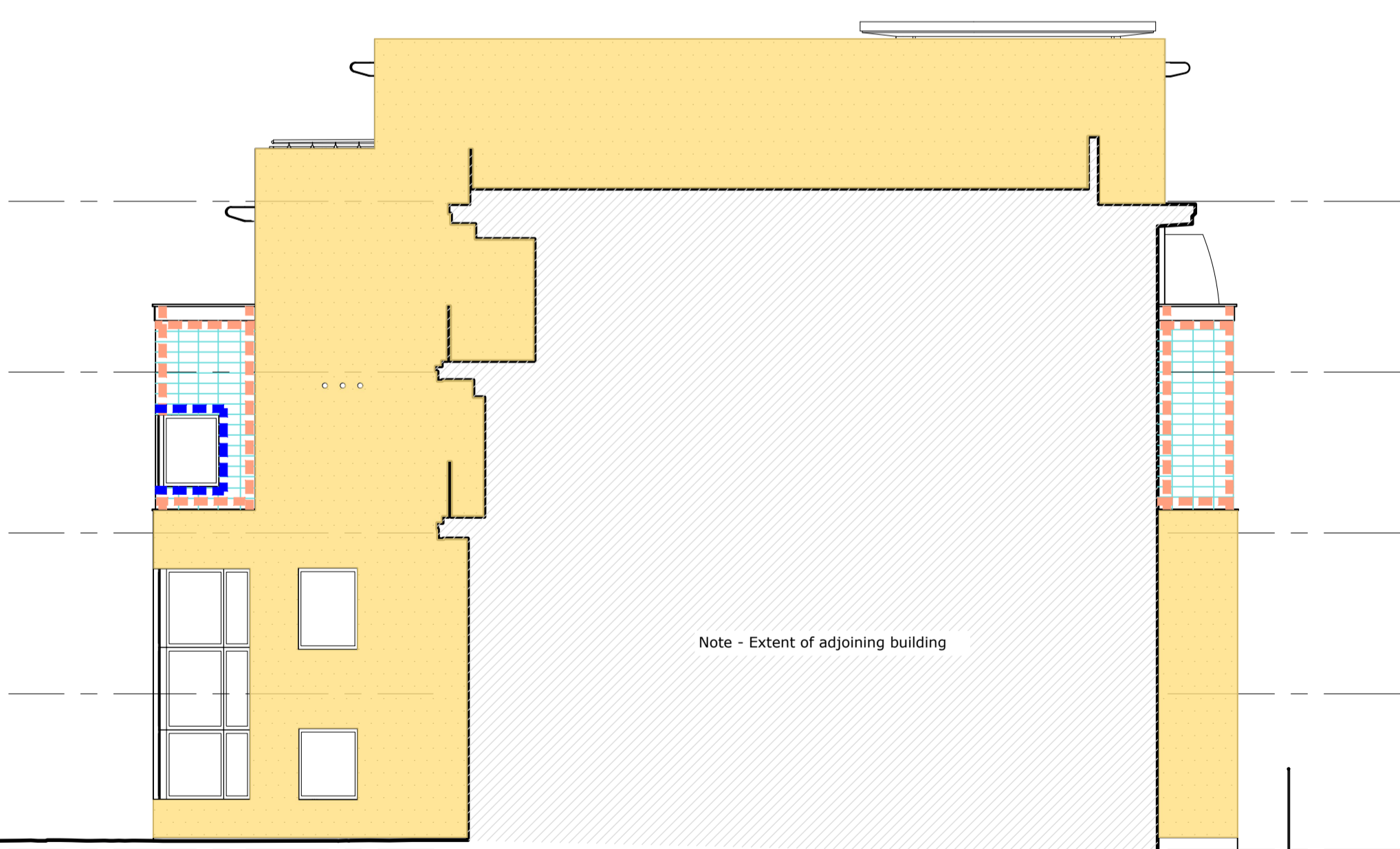
Scale	1:100	Drawn	ST	Date	Nov 2024
Drawing Purpose	PLANNING SUBMISSION		Status	S5	
Ref	2473-JSA-XX-XX-DR-A-04201	Rev.	P2		
Job No.	Origin	Zone	Level	Type	Dis. Number

PPC aluminium brise soleil to be retained as existing.
 Contractor to allow for temporary removal to facilitate remedial work and reinstate following remedial work behind aluminium panel at the compartment floor line.

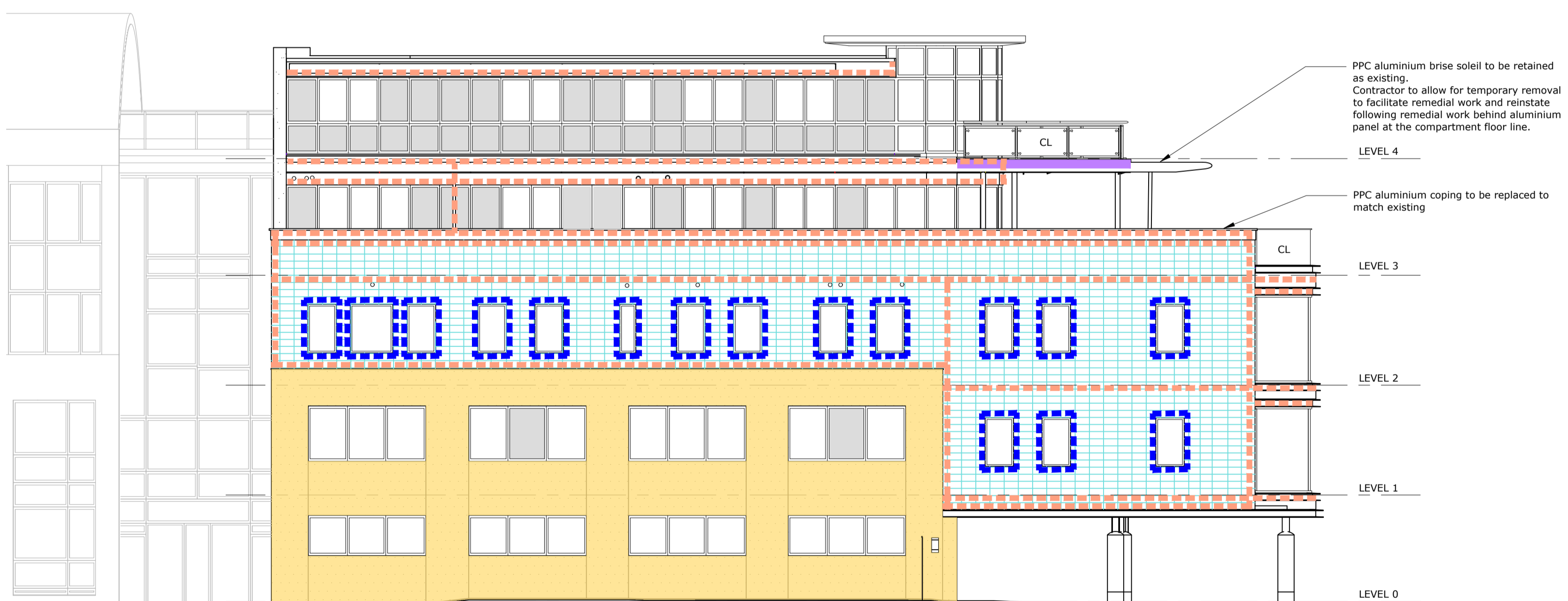
PPC aluminium coping to be replaced to match existing



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION