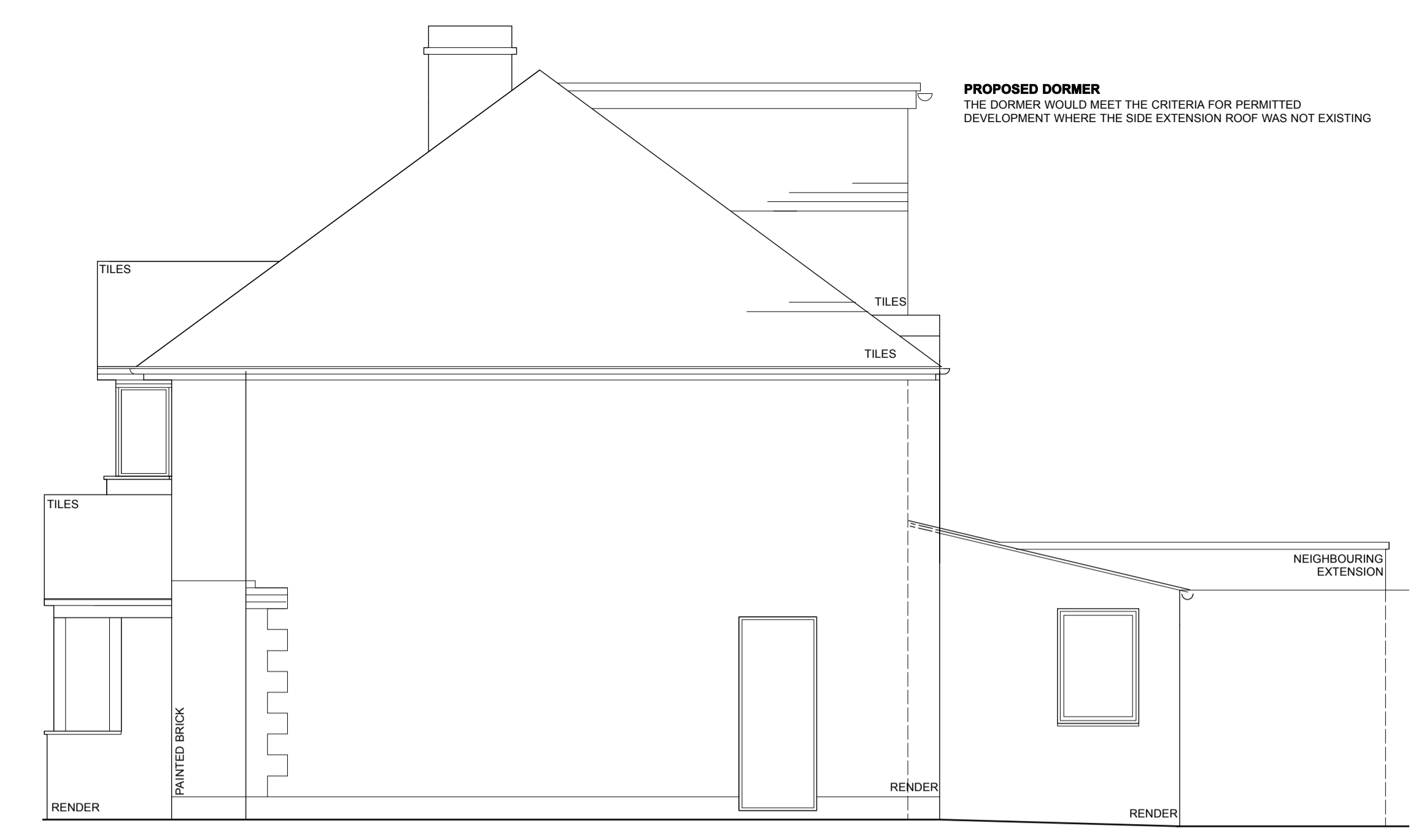




**FRONT ELEVATION**

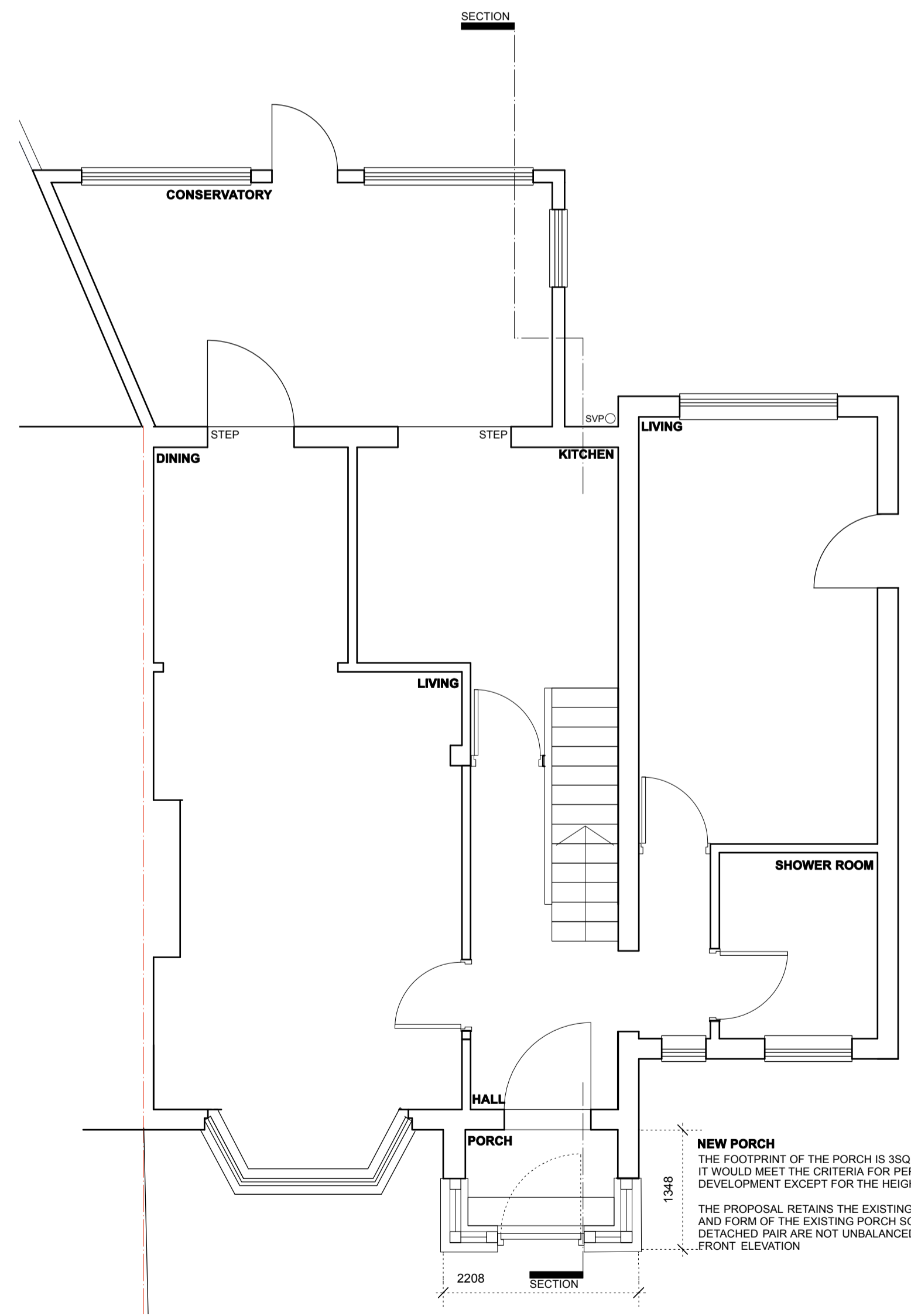


**REAR ELEVATION**



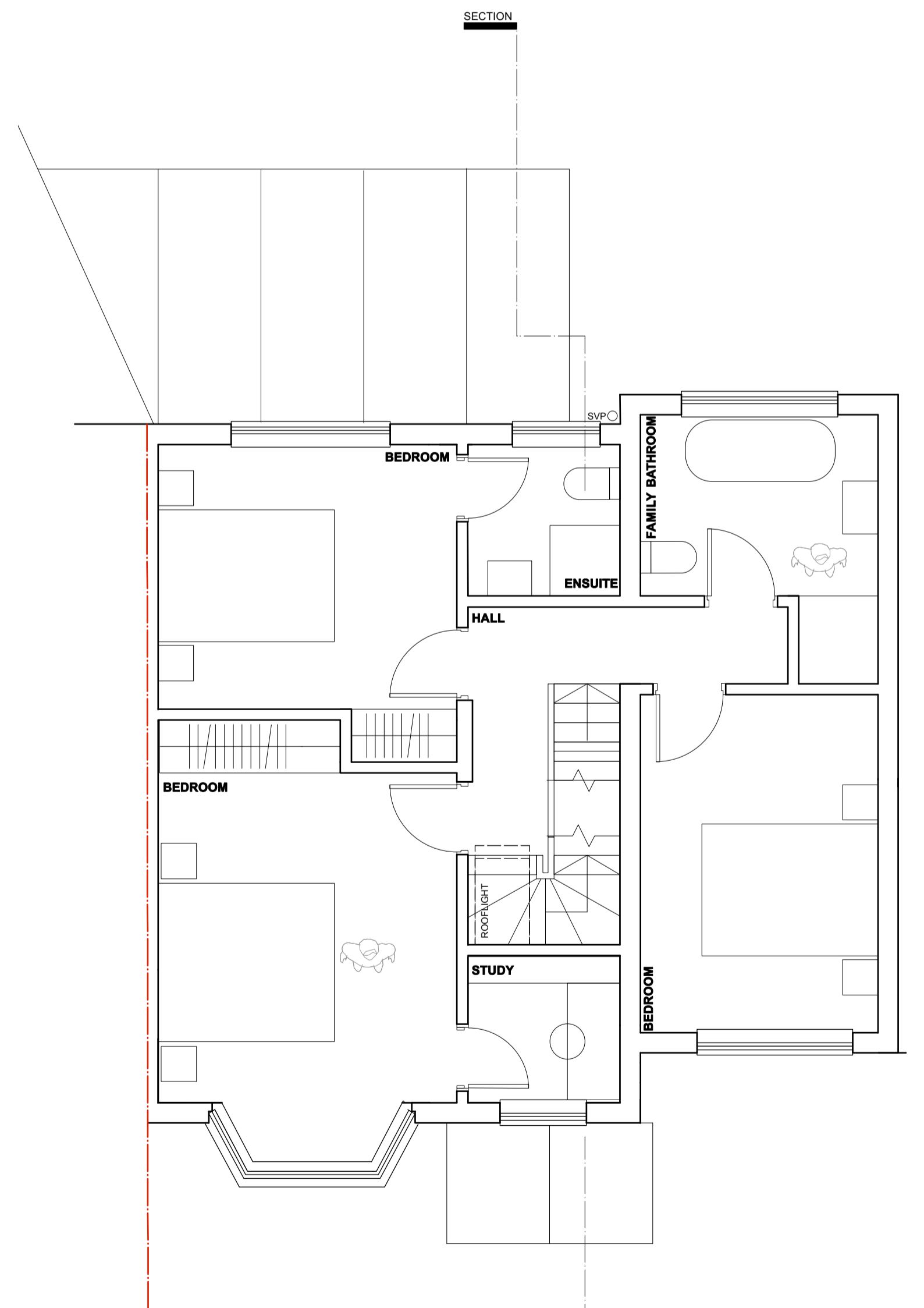
**SIDE ELEVATION**

**PROPOSED DORMER**  
THE DORMER WOULD MEET THE CRITERIA FOR PERMITTED DEVELOPMENT WHERE THE SIDE EXTENSION ROOF WAS NOT EXISTING

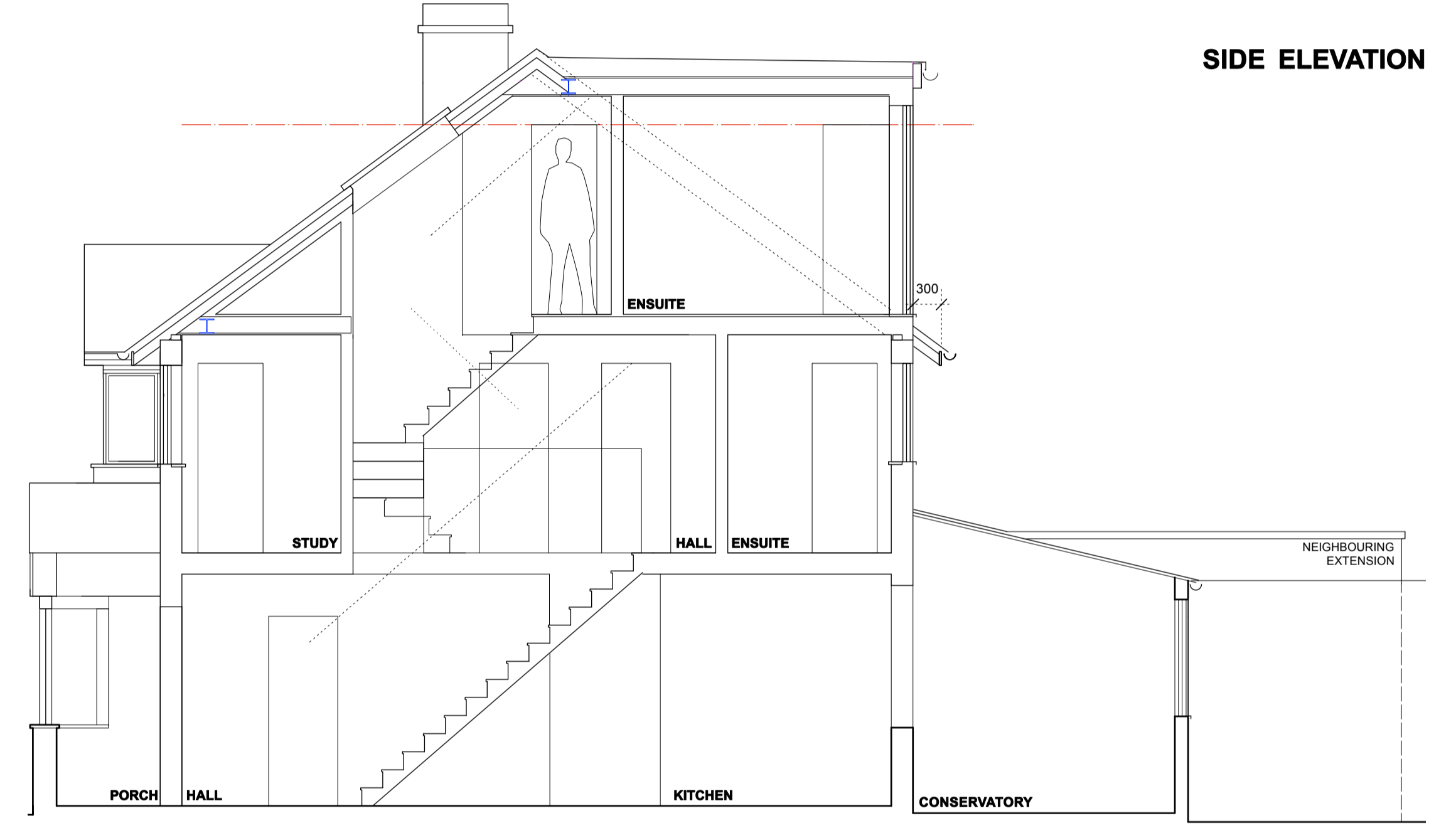


**GROUND**

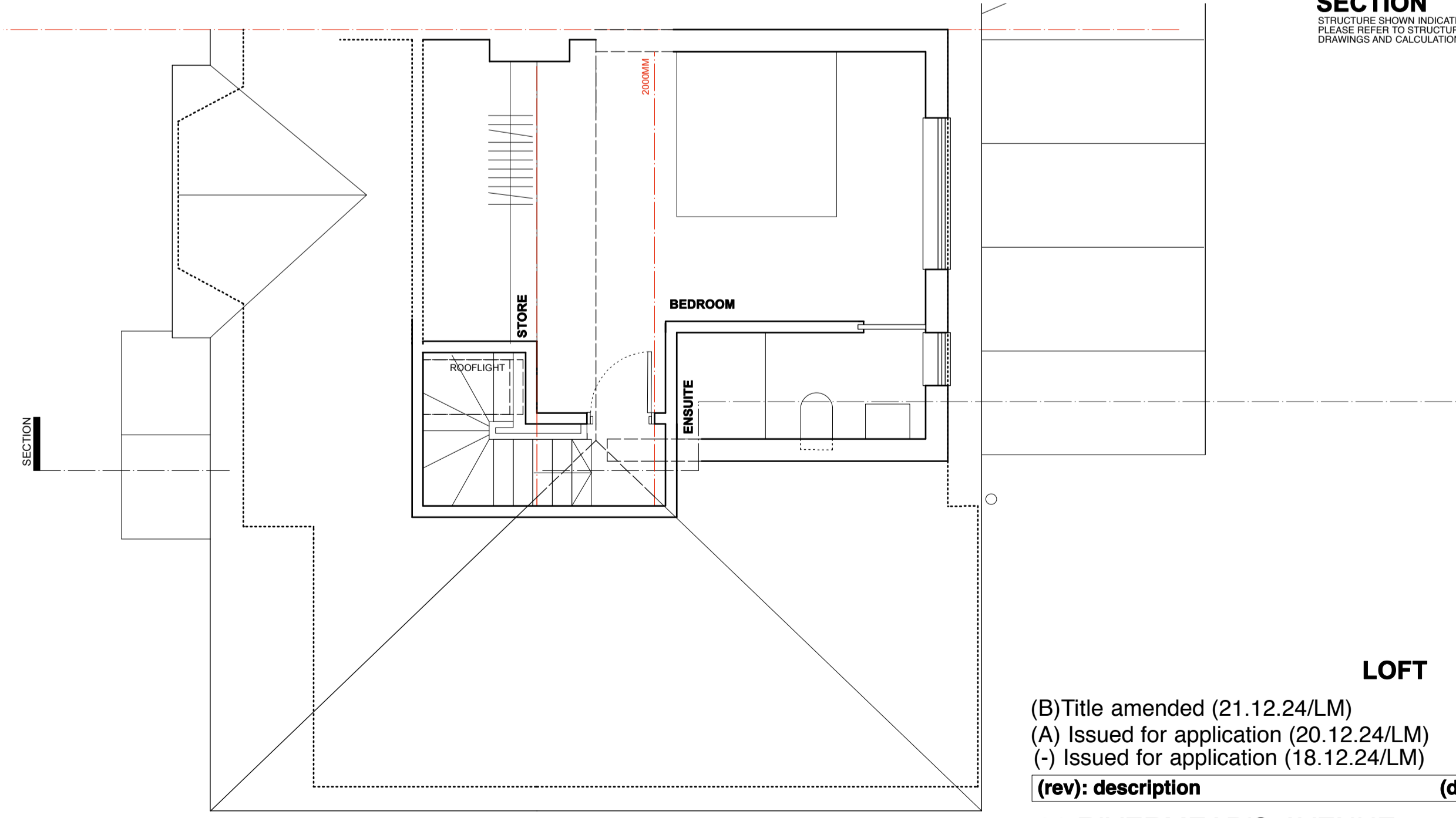
**Note 1:** this drawing is not to be scaled for construction purposes. Any dimensions provided on these drawings and the general layout can only be considered approximate as no measured survey has been conducted. Immediately after taking possession of the site the contractor should fully check the levels and dimensions of the site in order that he is fully satisfied with and accepts the drawings as a true record of the situation on taking possession of the site. Any discrepancies to be discussed with architect  
**Note 2: DRAWINGS + INFORMATION FOR USE AT 36 RIVER MEADS AVENUE ONLY.**  
**Note 3:** All doors onto protected hall to be FD20. Property to be fitted with interlinked smoke alarm to meet Building Regulations



**FIRST**



**SECTION**  
STRUCTURE SHOWN INDICATIVE ONLY. PLEASE REFER TO STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.

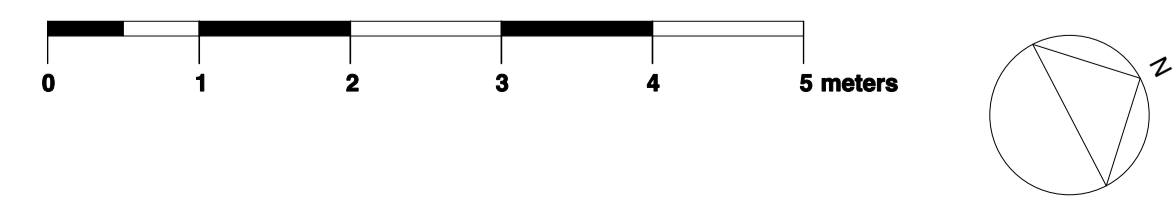


**LOFT**

**general notes**  
 All dimensions to be verified on site. To be read in conjunction with all relevant documents. In the event of discrepancy notify the Architect immediately. This document is copyright of Lorna Mishan. All drawings subject to planning approval. Do not scale from drawings.  
 SK Concept sketch PP pre-planning P Planning level BC Building control level information C Construction E Existing Condition

(B) Title amended (21.12.24/LM)  
 (A) Issued for application (20.12.24/LM)  
 (-) Issued for application (18.12.24/LM)

(rev): description (date/initials)  
**36 RIVERMEAD'S AVENUE**  
**Proposed Plans Elevation and Section**  
 1:50@A1 DEC 2024



**36RIV-P-11(B)**