



10 Pembroke Villas, Richmond Green

TW9 1QF

PLANNING HERITAGE DESIGN & ACCESS STATEMENT

Owners & Applicants: Colman and Sarah McCarthy
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00.Listed Building Pre-Planning Application

This is a supporting heritage and planning report in relation to a proposal for replacement side extension at basement and ground floor at 10 Pembroke Villas. This would replace an existing poor quality garage side extension at ground level (on the same footprint).The proposals include restoration works including restoring the symmetry of the pair; restoring a chimney stack and internal modifications to the dwelling to suit the modern needs of the family.

The minor modifications and restoration works include joinery to enable the kitchen to move to the ground floor (in free-standing joinery) and other minor works.

01.Introduction

The works are proposed to No.10 Pembroke Villas , a Grade 2 listed residential dwelling dating back to 1854 fronting onto Richmond Green and sat within Richmond Green Conservation Area.

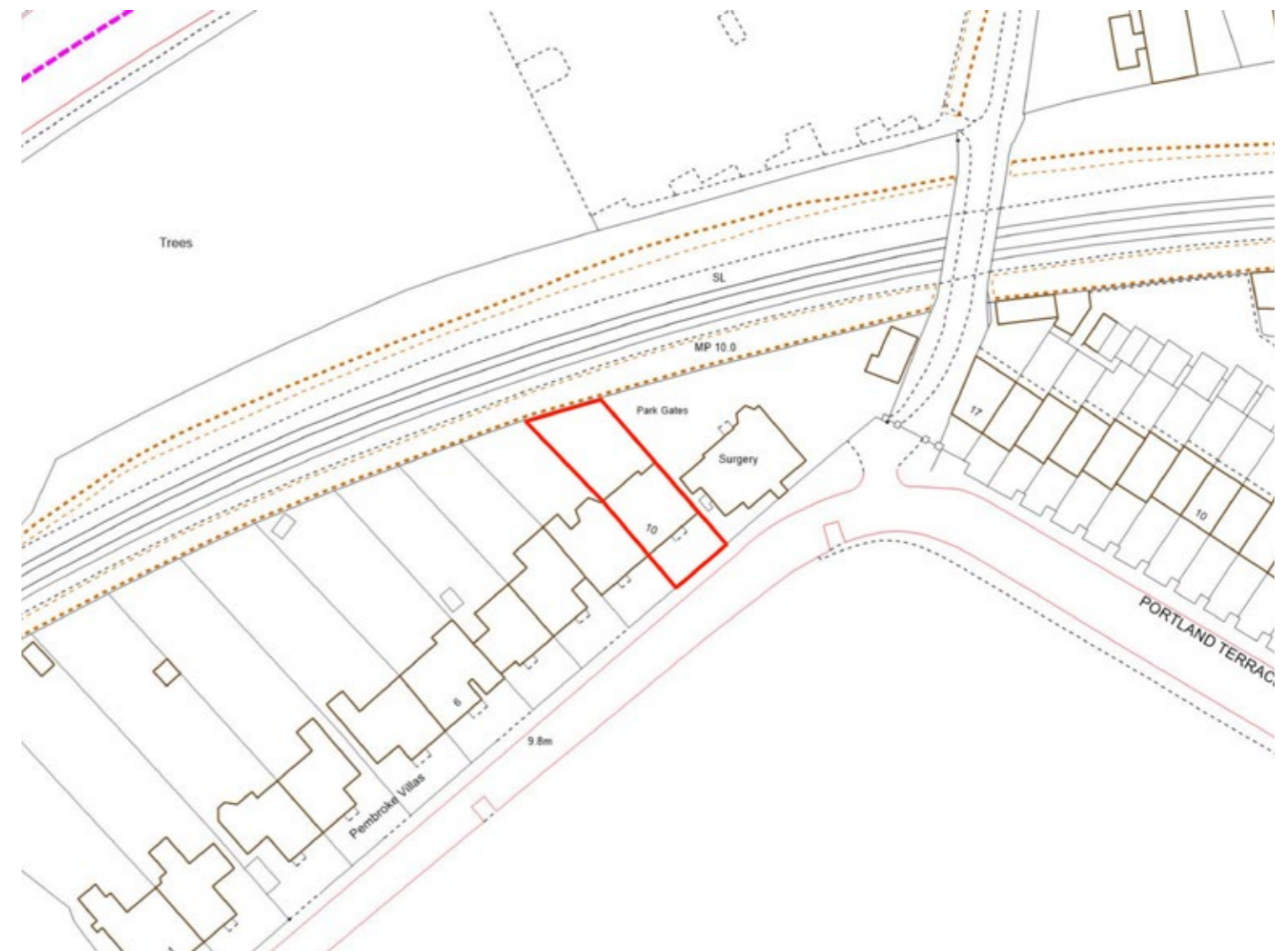
10 Pembroke Villas is group listed (with No. 1-9) and has been substantially altered internally over the years including a large amount of work in 2011. Our proposal, on the whole, looks to restore the symmetry between No. 10 and its pair; No. 9.



Bird's eye view of the property (cartilage in red)

Michael Jones Architects Experience

We are proud to have undertaken restoration works on a number of the Pembroke Villas over the last 15-20years including 1, 2, 5, 6, 8 and the immediate neighbour, No. 9 Pembroke Villas. We are also currently working on projects including the Grade I listed 3 The Wardrobe in Richmond Palace and Grade 2* 2 Old Palace Place.



Site location plan (cartilage in red)

02. Site and Surrounding Context

Context

Pembroke Villas is one of the three streets surrounding Richmond Green, along with Portland Terrace and The Green. Pembroke Villas consists of five symmetrical pairs of pedimented semi-detached two storey, house with a basement and accommodation in the loft. The road ends to the North-East side with a detached two storey mid 19C house, known as Park Gate.

Conservation Area

The site is within the Richmond Green Conservation Area No 3, designated in 1969.

It is situated between the Quadrant, the river Thames and Old Deer Park. It is enclosed by a number of surrounding conservation areas.

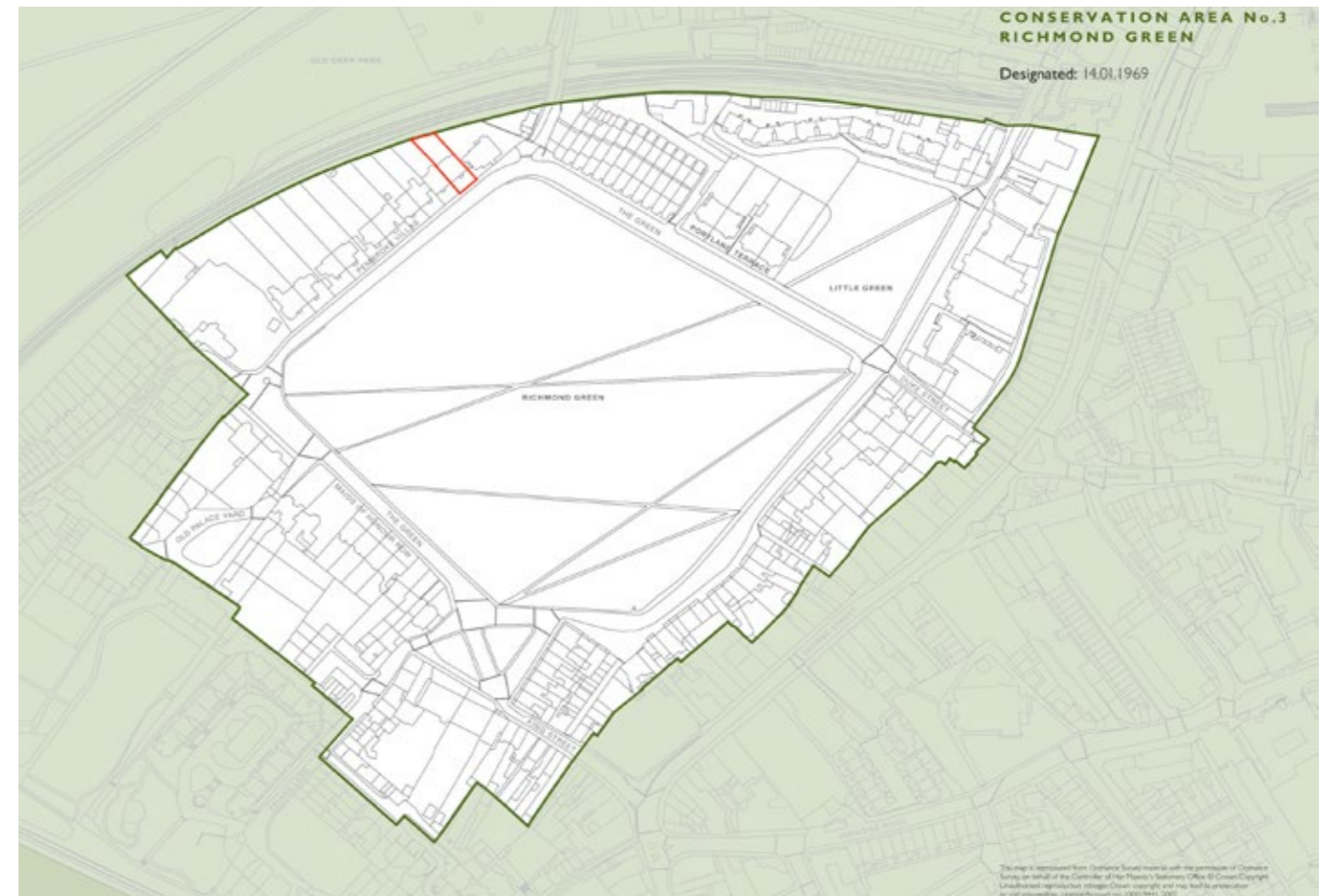
The south west side of The Green was the site of a royal palace from the Middle Ages until Henry II's Tudor Palace was destroyed in the 17th century. Remnants of Tudor buildings survive in Old Palace Yard at the Gate House and the Wardrobe. The royal connection led to the development of substantial houses on the south east side of The Green and, after it had been demolished, on the site of the palace itself. Development spread to the north in the 18th and 19th century reflecting Richmond's status as a fashionable address. The area also includes a few postwar developments.

Listed Buildings

1-10 Pembroke Villas were recognised as Grade II listed buildings in 1968. Park Gate is a Building of Townscape Merit (listing description on the next page)

Pembroke Villas has a traditional deep plan arrangement with halls, landings and minor rooms on one side of the house and high ceiling principle rooms on the other side at ground and first with more subservient spaces to the basement and second floor.

The significance of this heritage asset lies in the contribution of the exterior to the architectural set piece which is 1-10 Pembroke Villas and its position on Richmond Green in the Richmond Green Conservation Area.



Map of the Richmond Green Conservation Area No. 3 (cartilage in red)



Cropped of the Twickenham Riverside Conservation Area No. 8 (cartilage in red)

02. Site and Surrounding Context



10 Pembroke Villas front view



South-West view of Pembroke Villas



10 Pembroke Villas rear view



View towards Richmond Green from 10 Pembroke Villas first floor front balcony



10 Pembroke Villas rear garden

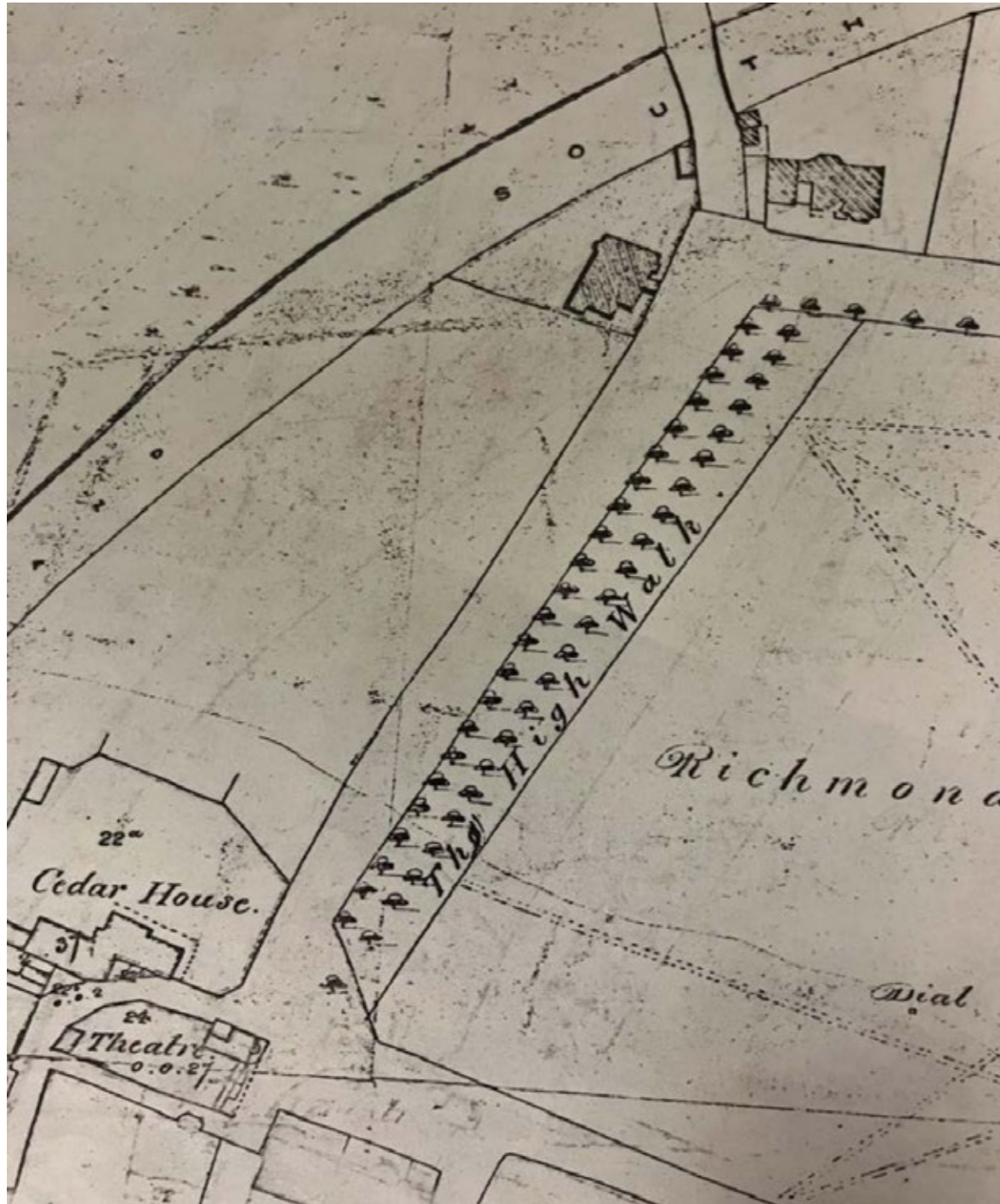


19C gates connecting Richmond Green to Old Deer Park Car Park and Park

03. Historical Chronology on Site

Originally the North-West area adjoining Richmond Green was part of the extensive site of Fitzwilliam House (then Pembroke House), which had been demolished in the 19C to make way for the new railway line for the London and South Western Railway Company.

The map below, dated 1842, shows the proposed railway line as well as Cedar House (now known as The Virginals), the Garrick Theatre (now demolished), and Park Gate.



1842 Map



1868 Plan

In 1851 the land between Cedar House and Park Gate became the site of the development known as Pembroke Villas, comprising an elegant group of 5 pairs of semi-detached villas designed in neoclassical style. The outer four pairs, with their distinctive, shared, pediments were arranged either side of the larger central pair.

Pembroke Villas was listed in 1968 and the listing states the following:

I. 5028 RICHMOND GREEN (north-west side)

Nos 1 to 10 (consec) Pembroke Villas TQ 1775 8/6 24.12.68

II GV

2. Mid C19 ensemble of 5 pairs of houses in yellow brick with stucco dressings and slated roofs. In the first, second, fourth and fifth pairs each house is 2-windows wide with the central adjoining window-bays beneath a gabled roof brought forward as a pediment, and the outer window bays slightly recessed and having a pilastered entrance porch incorporating balustraded balconies. Moulded stucco window surrounds. Central windows tripartite. All square headed. The central pairs of the ensemble is 3-storeys high, each house 3 windows wide, beneath a continuous modillion cornice. Rusticated stucco ground floor. Round arched entrance porches with attached Corinthian half-columns.

While each of the original villas appear, at first glance, to be largely as built, most have been extended sympathetically to the side and some to the rear. All have been refurbished internally with many of their original features carefully retained and restored. The basements, built originally for staff, laundry, and coal storage functions, have mostly been carefully modernised into damp-proofed, comfortable, light, airy, family spaces with introduced access to the rear via a lowered, light-well / patio.

Chimney Stack

The Photograph below, from the London Metropolitan Archives Collection, is dated 1974 and shows the rear facade of Park Gate, along with the side of 10 Pembroke Villas. Note the original chimney stack to the front of the house (on the east side), clearly visible from this photo, which has since been capped off. This presents an opportunity for restoration to its original form.



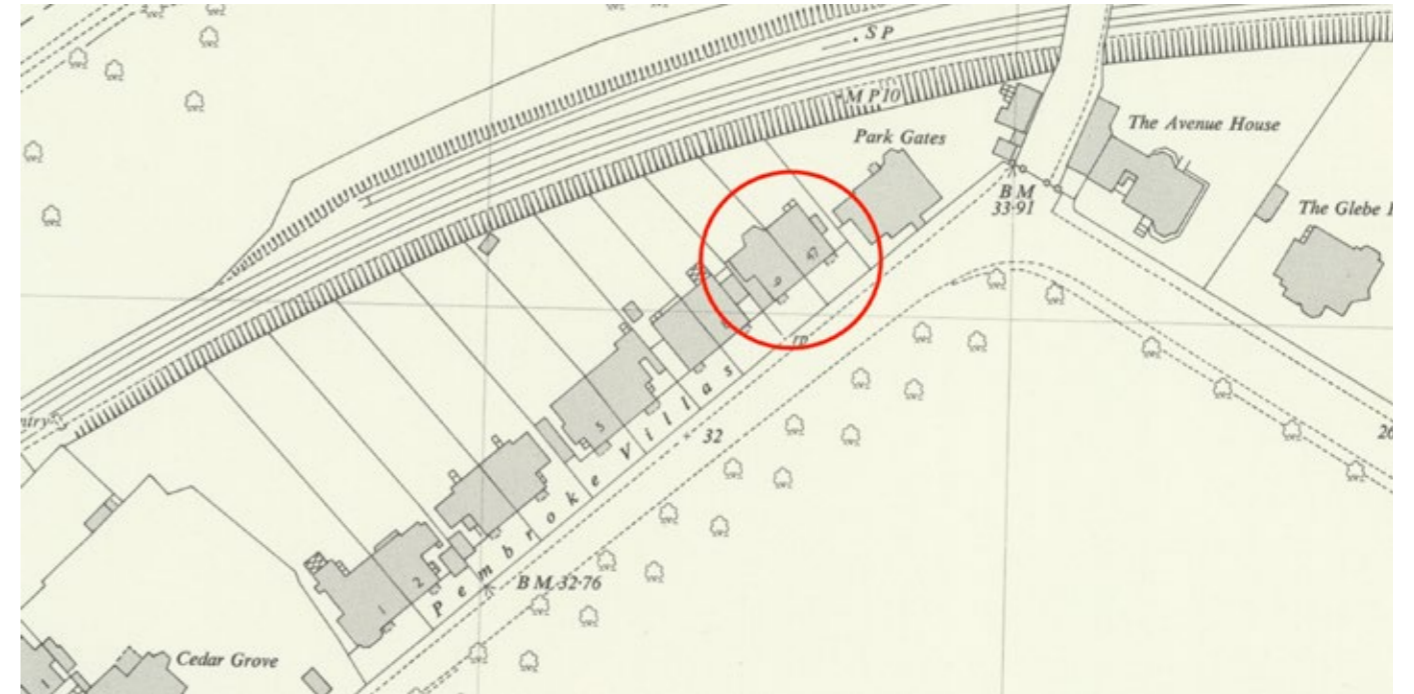
1974 Photograph of Park Gate and 10 Pembroke Villas

Garage Extension

Based on the historical documents below the first garage extension to the side of No.10 Pembroke Villas appears to be formed between the late 60's and the early 70's.

The OS map from the 60's clearly shows a fully width side extension at No.9 and a smaller earlier extension to No. 10 (see later details on this), i.e. there is no garage as its current form.

The photograph from the local archives, dated 1971, indicates the above mentioned extension to the side of No.9 and also shows the garage extension to No. 10, along with a smaller garage extension to the side of No.10, which appears to be very similar to the current form.



Extract of 1960's OS Map of the Green



1971 Photograph of Nos. 9 and 10 Pembroke Villas

04. Planning History

04.1. 10 Pembroke Villas Planning History

There are a number of previous planning and listed building applications for No. 10 Pembroke Villas, plus several applications for dispensation of conditions, all submitted between 2010 and 2011.

The works amount to significant work including modern lath and plaster, bathrooms, finishes and structural works.

The first ones are as follows:

Planning application numbers : 10/1781/HOT & 10/1782/LBC

Proposal: Re-surfacing of the entrance path and forecourt with Yorkstone with an additional step at the base of the entrance steps, repair of the front boundary wall, new front elevation to the existing garage with simplification of adjacent soil pipe, enlargement of a rear lightwell to create a paved terrace area at the basement level, installation of a replacement external access stair; new glazed doors and a window at basement level to rear; replacement of roof covering with slate to match and internal alterations incl. secondary glazing and basement underfloor heating.

Status : Granted Permission

Date : 11/08/2010

These applications (and others around the same time, listed below) made extensive internal layout modifications, especially at basement and second floor levels, as well as external alterations. Most of the approved amendments are visible in the current layout of the house.

The previous basement timber floor structure has been replaced by a new reinforced concrete slab with insulation and underfloor heating within screed. Some of the walls in the basement have also been removed, including some portions of the external rear wall, to enlarge the original opening to the extended patio and to create a new structural opening for a new window.

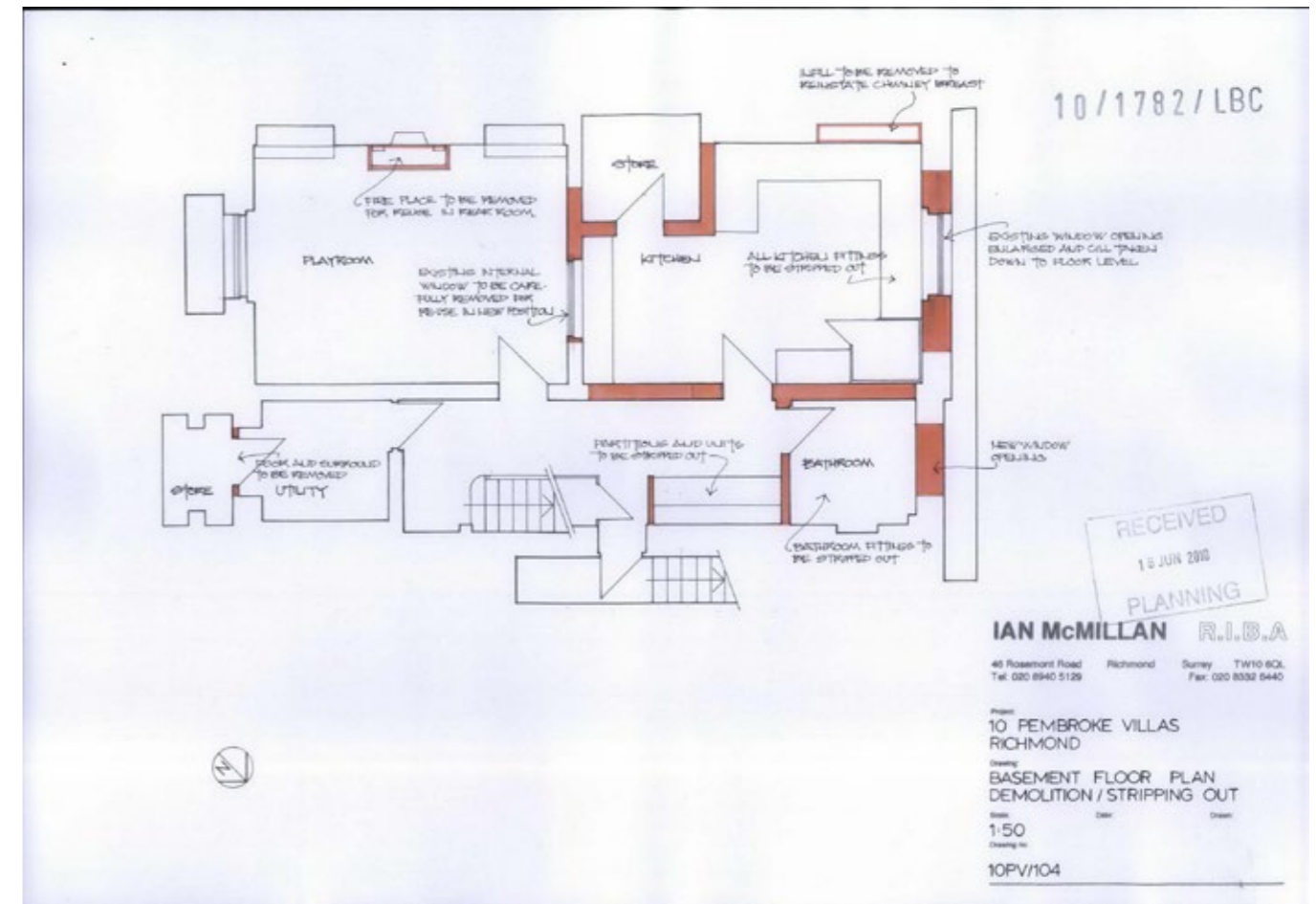
New metal stairs and metal railings have been added to replace the previous solid stairs connecting the ground floor to the rear garden and patio.

On the ground floor, works included a replacement WC, storage and lots of the original lath and plaster was replaced.

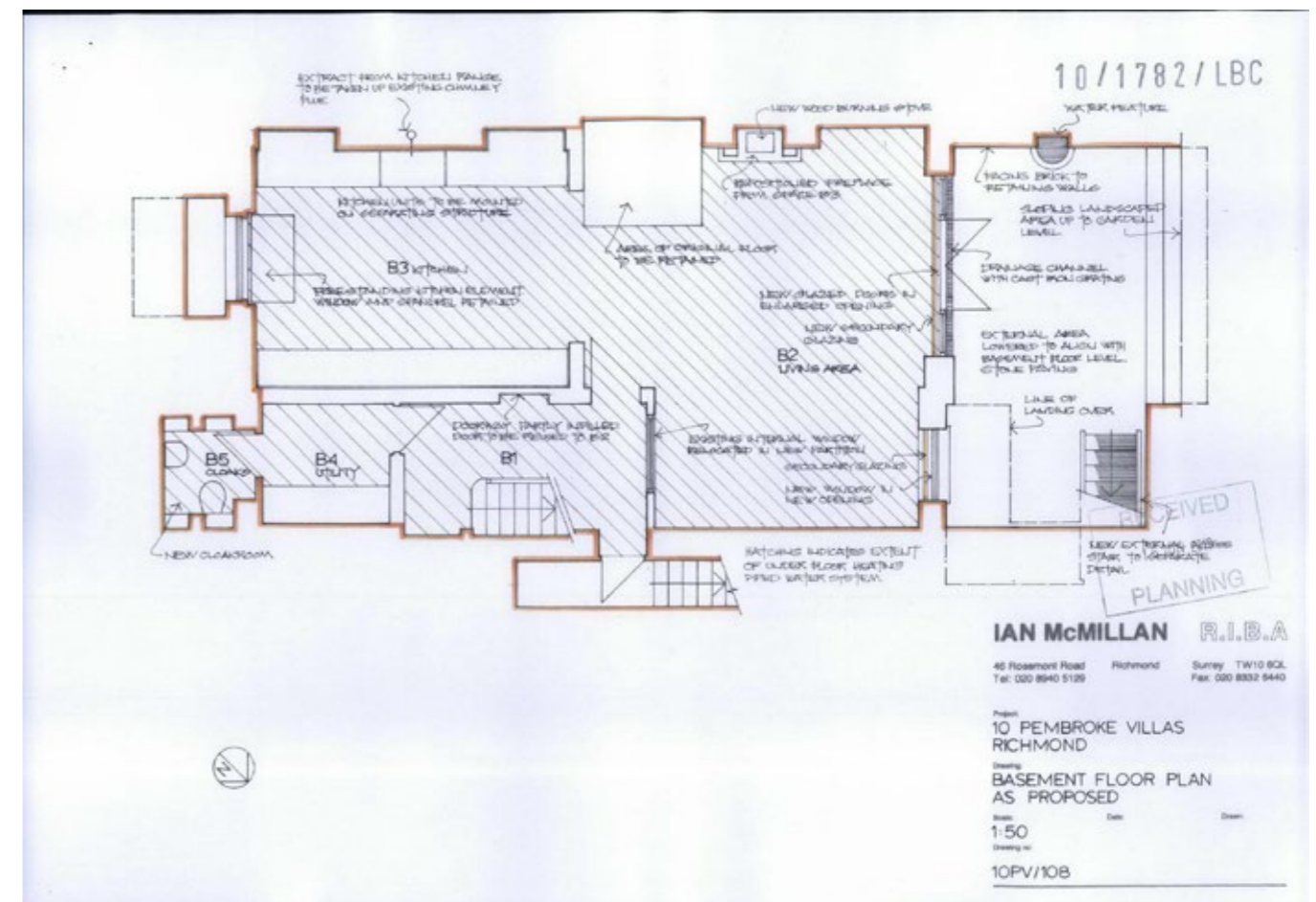
The front elevation have also been altered, by the replacement of the garage doors although the consented tapered wall above was not constructed.

The second floor, previously formed by a living room with a kitchenette, a bedroom and an en-suite, have been reconfigured to accommodate two bedrooms, each one with an en-suite.

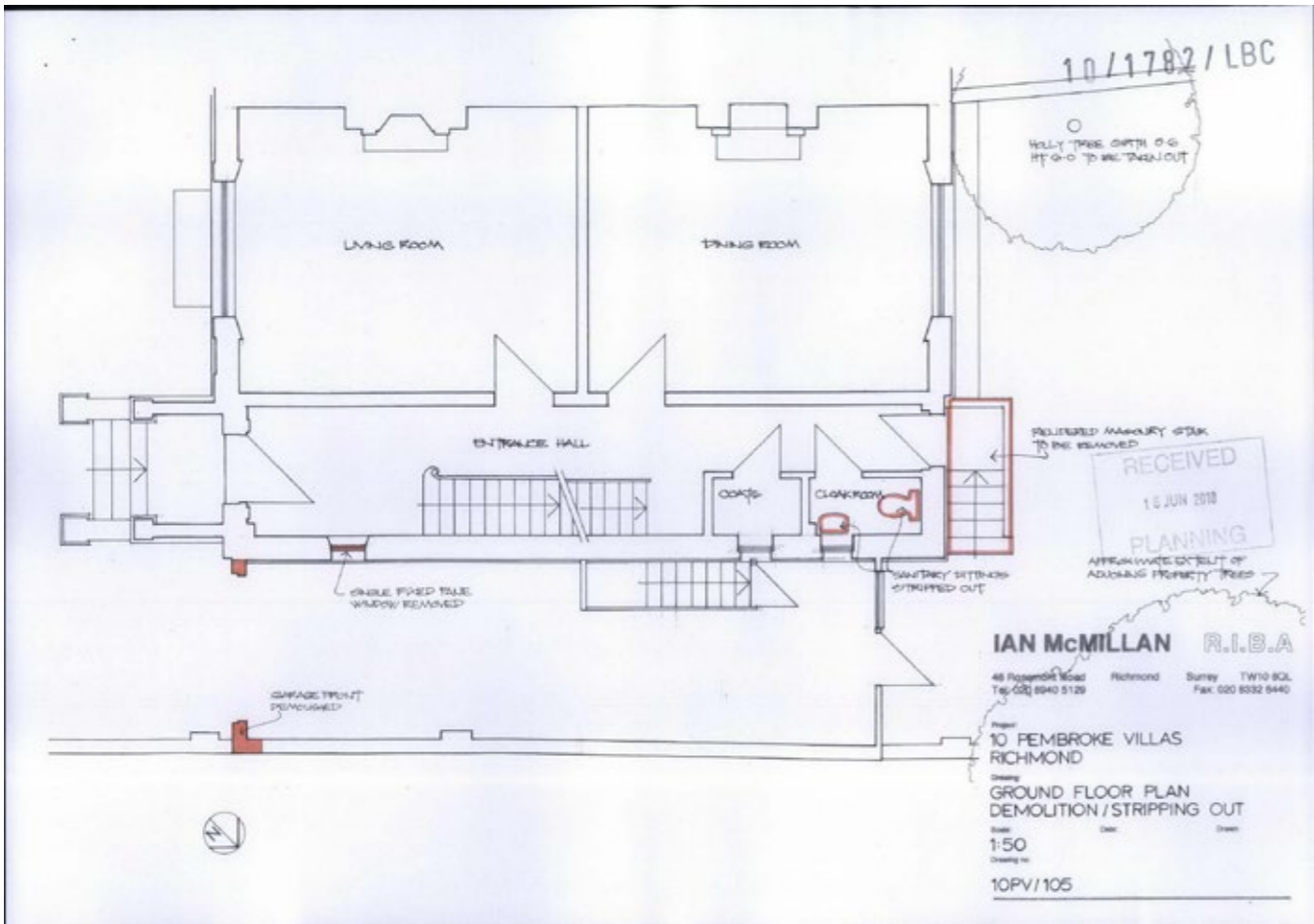
The main roof structure has been improved by the installation of new insulation, steelwork and the replacement of the slate tiles and new air conditioning units have been installed in the bedrooms along with relevant modifications to enable this.



Existing Basement floor plan with demolitions indicated in red



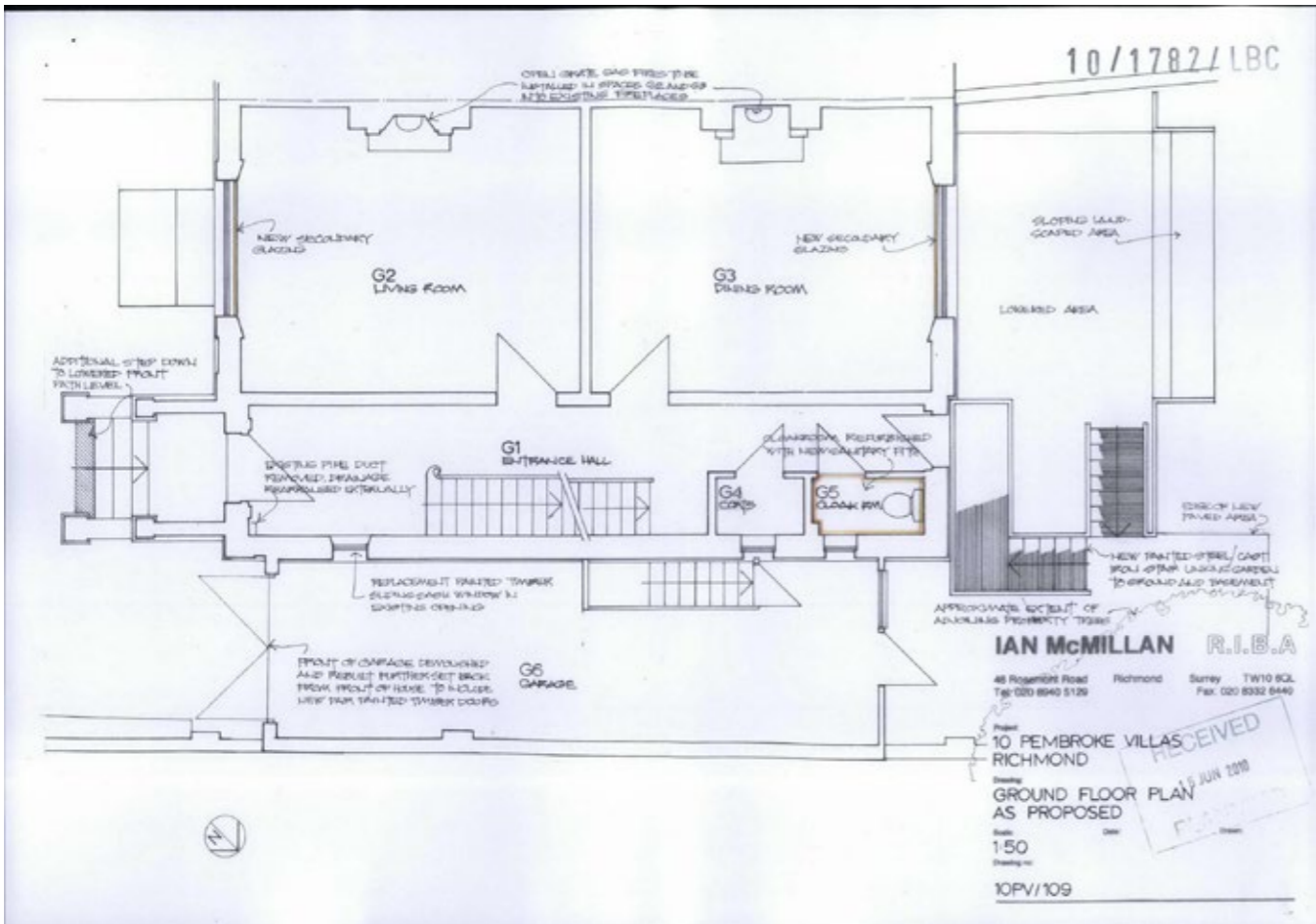
Proposed Basement floor plan



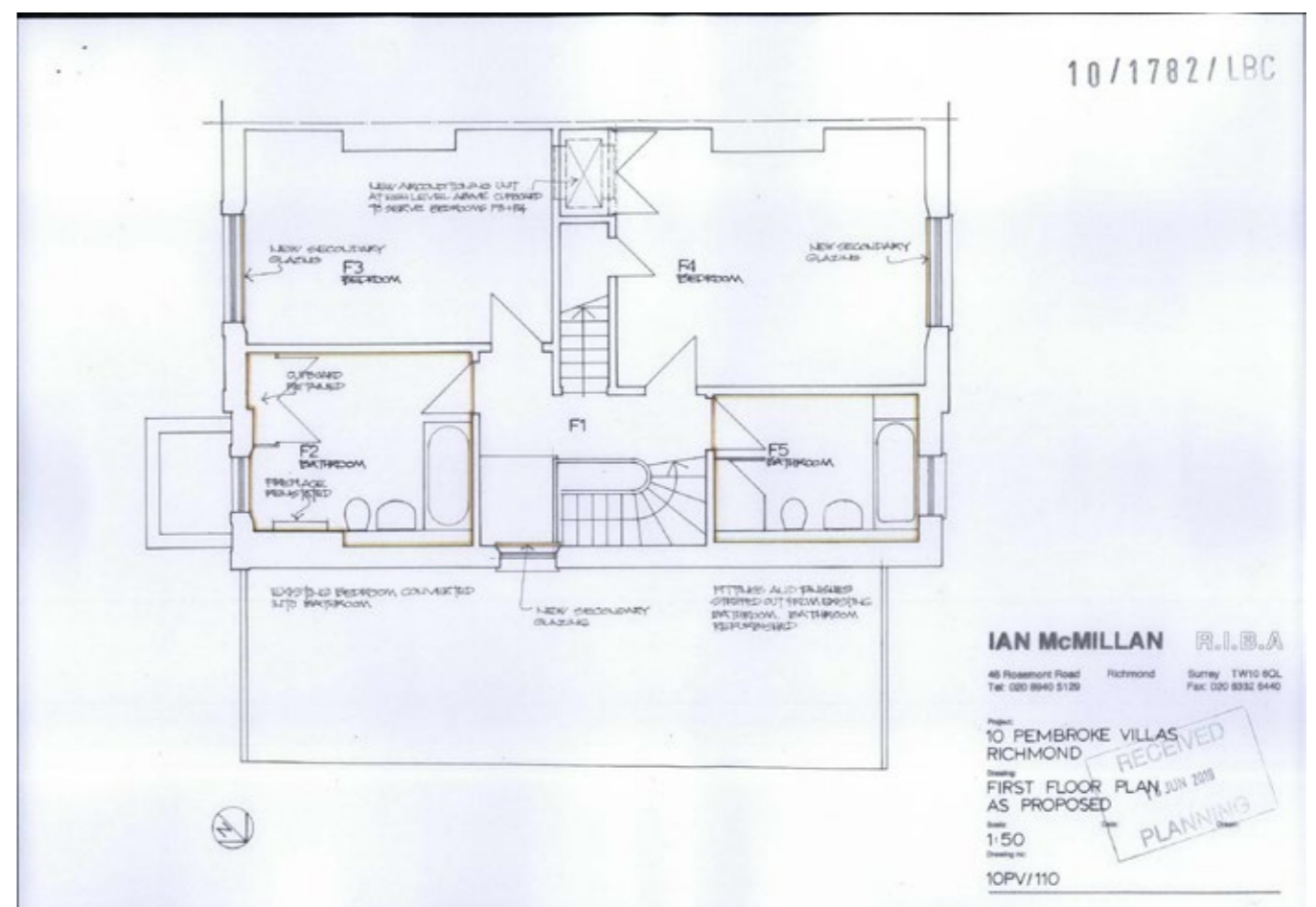
Existing Ground Floor plan with demolitions indicated in red



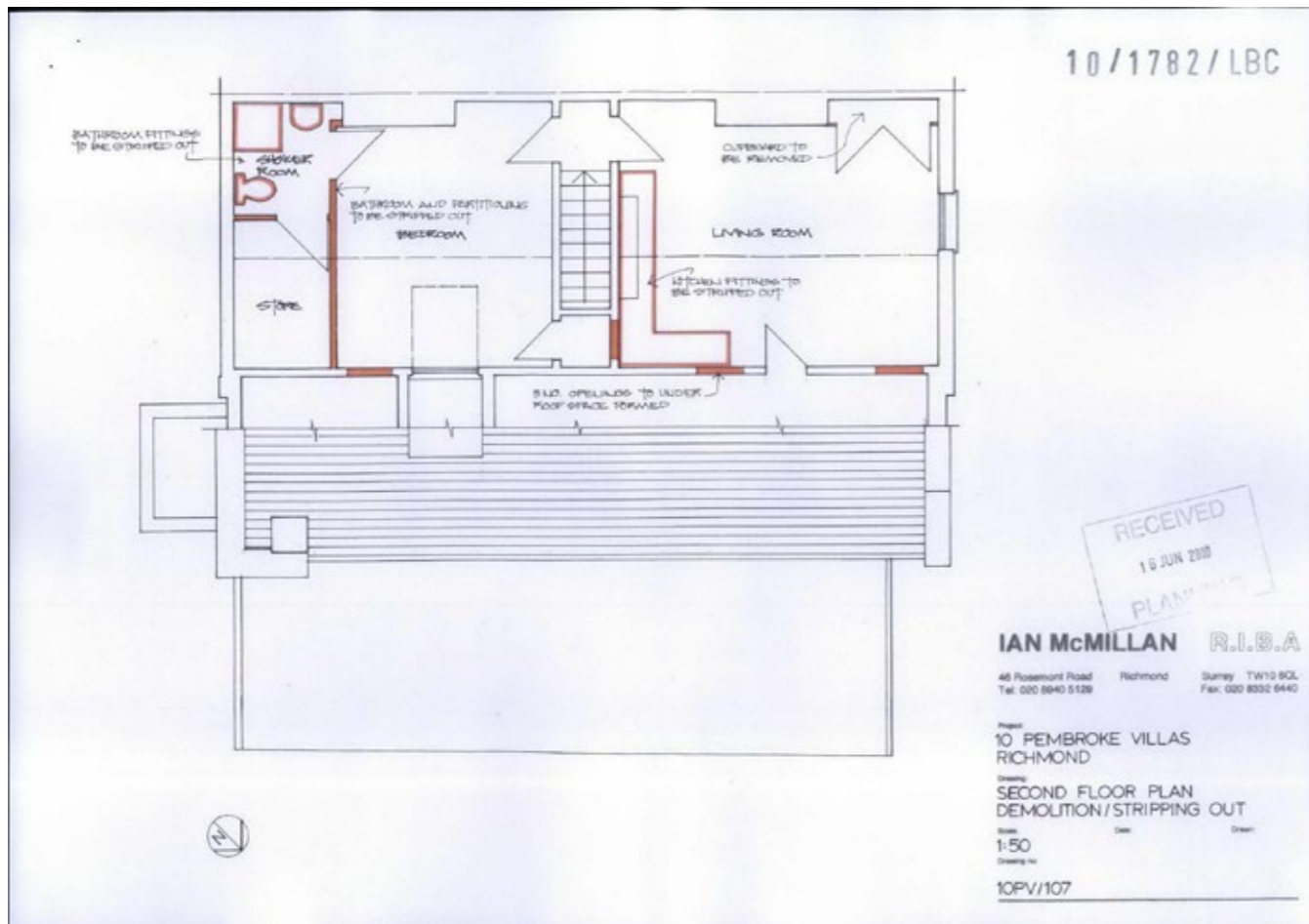
Existing First Floor plan with demolitions indicated in red



Proposed Ground Floor plan
10



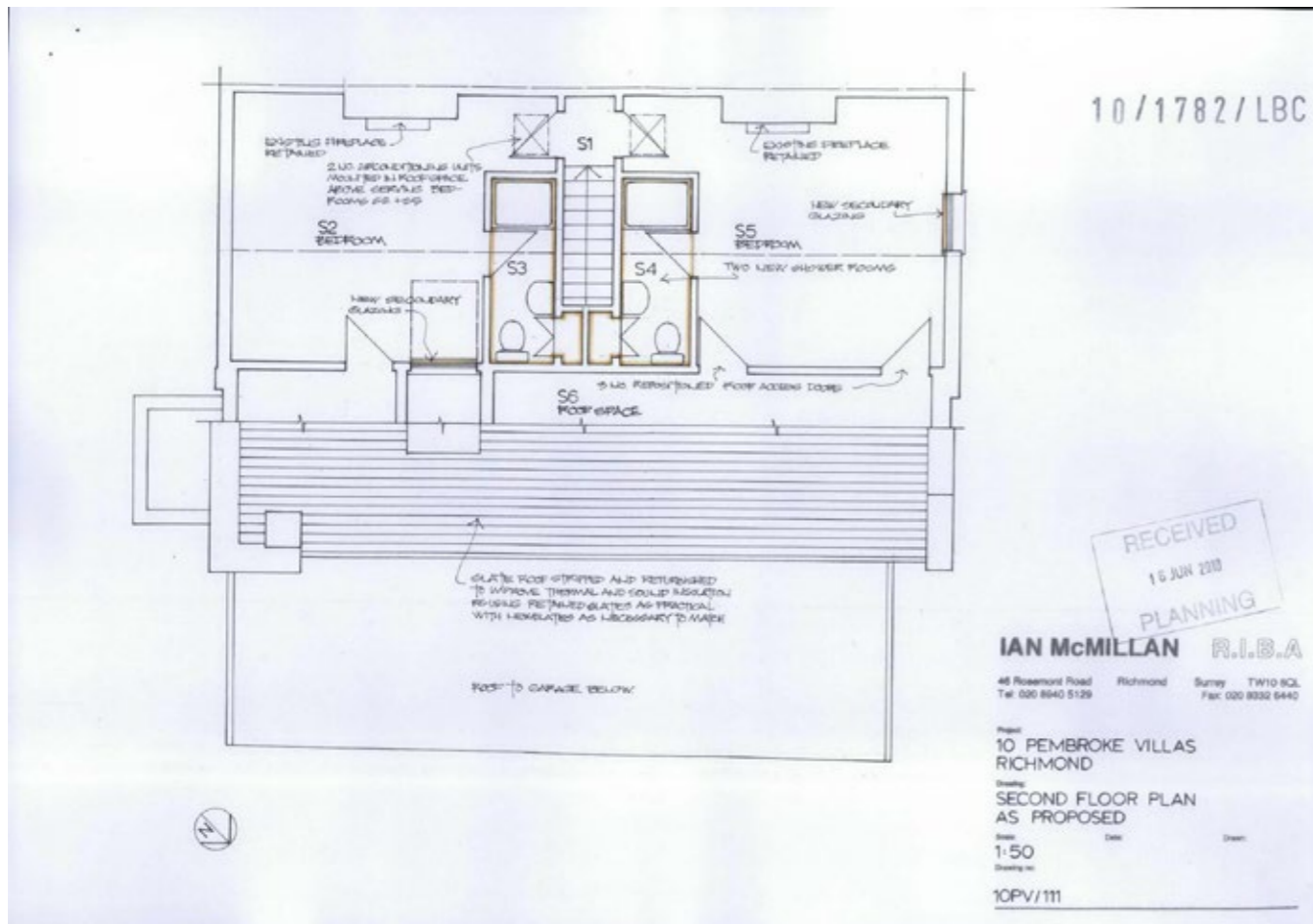
Proposed First Floor plan



Existing Second Floor plan with proposed indicated in red



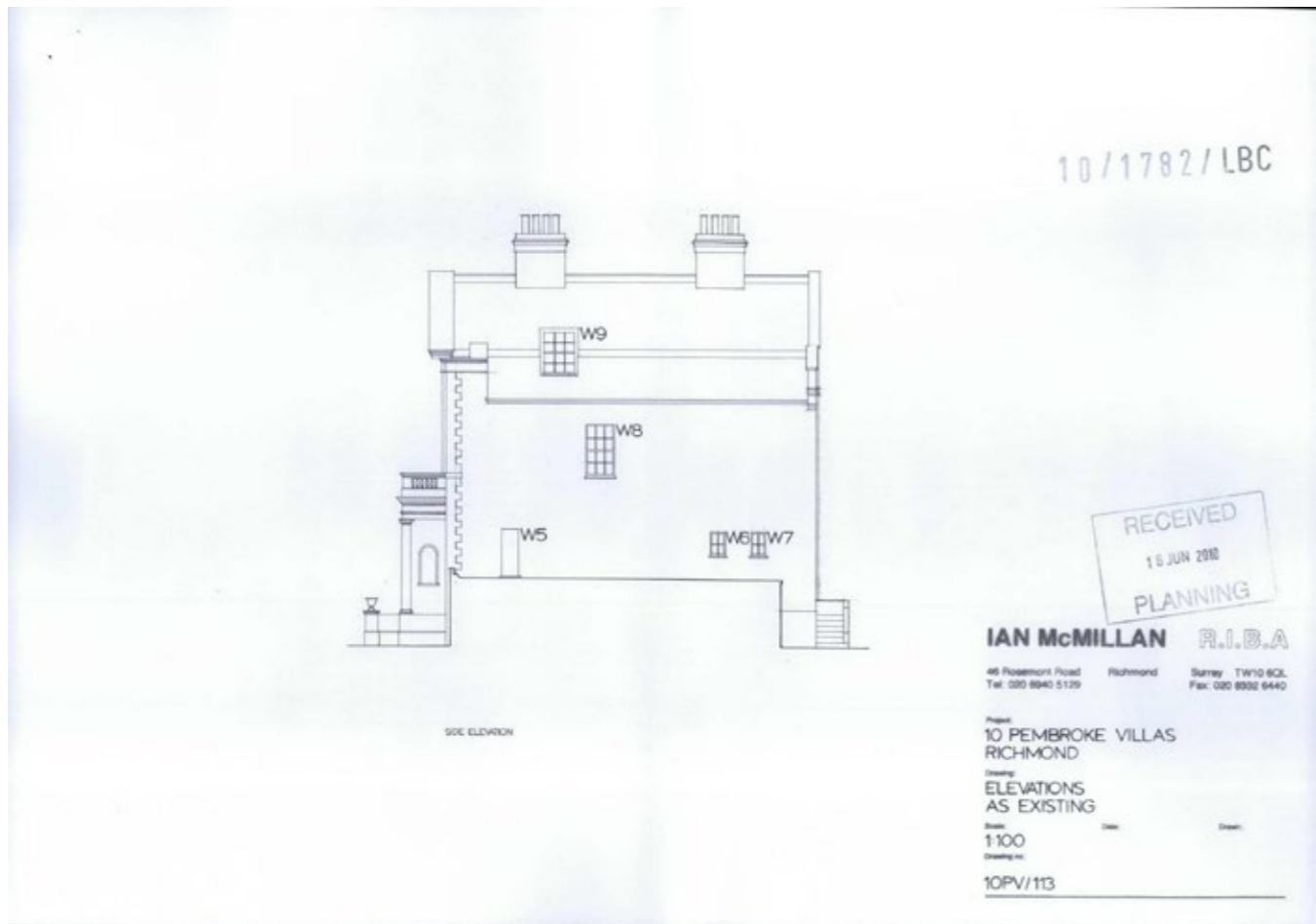
Existing Front and Rear Elevations



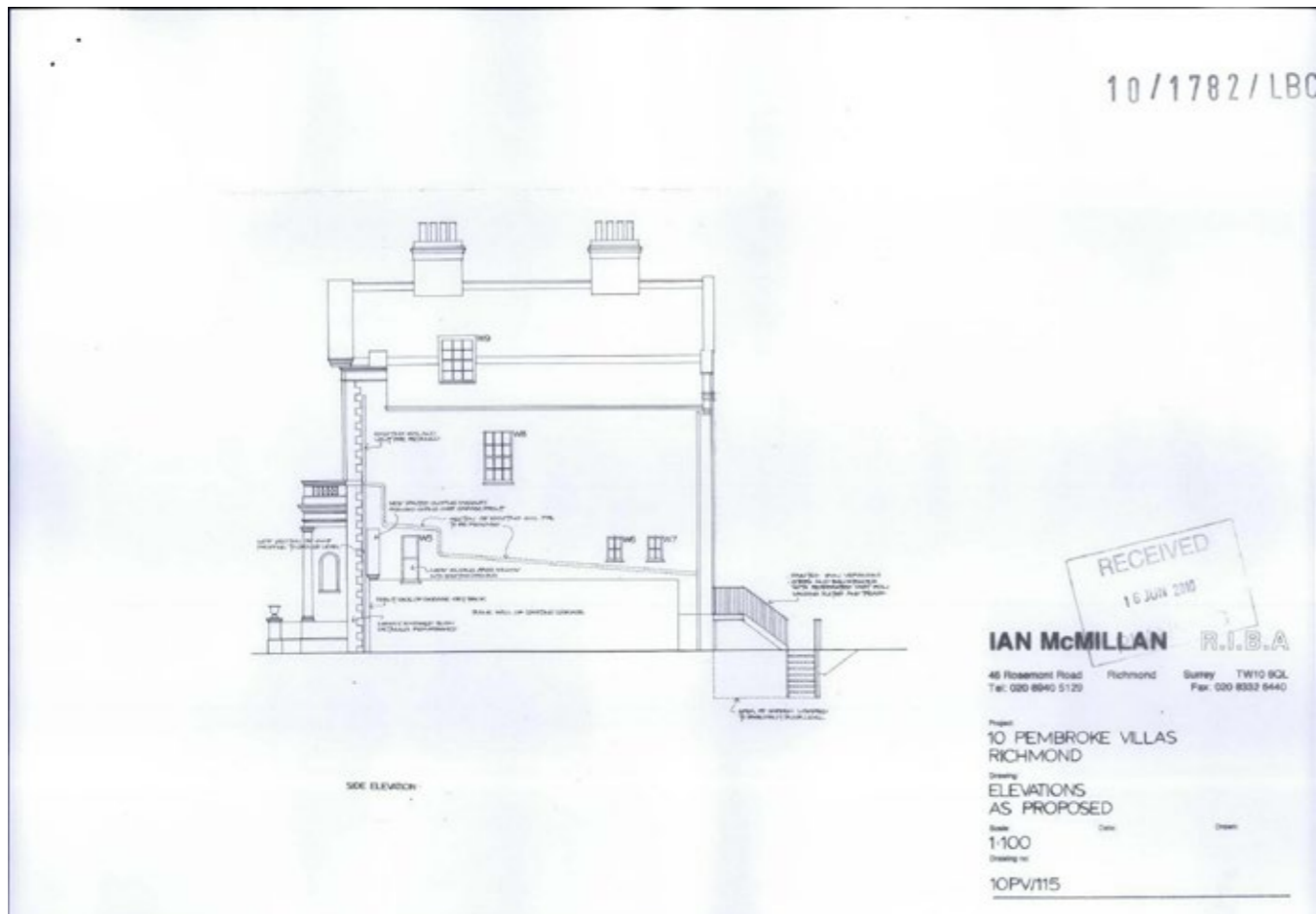
Proposed Second Floor plan



Proposed Front and Rear Elevations



Existing Side Elevation



Proposed Side Elevation

A second set of planning and listed building applications have been submitted in 2011:

Planning application numbers: 11/1982/HOT & 11/1983/LBC

Proposal: Re-surfacing of entrance path and forecourt with Yorkstone; repair front boundary wall; simplification of soil pipe to flank elevation; enlargement of a rear light-well slot to create a paved terrace area at basement level; installation of replacement external access stair; new glazed doors and a window with laminated glass at basement level to rear. Demolition and reconstruction of rear end of garage incl. ventilation grills to house new a/c condenser; replacement of roof covering with slate to match; internal alterations including refurbishment of all windows with instillation of laminated glazing to selected windows for sound proofing reasons, air conditioning to first and second floor bedrooms and basement underfloor heating.

Status : Granted Permission

Date : 04/08/2011

These applications propose the same alterations approved by the 2010 applications, except for the garage structure, where it is proposed to keep the existing front layout and amend the rear section to accommodate a grilled metal structure covering the external air conditioning condenser units, as shown in the image below. This reflects what was built.



Proposed Front and Rear Elevations

A further listed building applications have been submitted in 2011, providing more information on the proposed works to the basement, second floor and main roof:

Planning application number: 11/4203/LBC

Proposal: Removal and replacement on 'like for like' basis of existing sub standard timber roof structure with insertion of insulation and reinstatement of a slate roof and lathe and plaster to ceilings and stairwell enclosure to match existing; the insertion of structural steels within second floor zone; removal and replacement on a 'like for like' basis of structurally sub standard stud walls at second floor level, with reinstatement of existing panelling; removal of remaining section of suspended timber floor at basement level and its replacement with a solid floor with under floor heating.

Status : Granted Permission

Date : 13/02/2012

04.2. 1 to 9 Pembroke Villas Planning History

Since their construction, all the Pembroke Villas houses have experienced amendments, alterations and additions, mainly consisting in side and rear extensions as well as internal works.

No. 9 Pembroke Villas had a planning application approved in 1986 for internal alterations at basement level, as well as new fenestration layout to the rear elevation at basement and ground floor levels.

A more substantial application, approved in 2012, included the full demolition of the previous side garage structure and the erection of a two storey side extension protruding beyond the level of the main house rear wall.

No. 8 Pembroke Villas older registered application is dated 1974 and included the replacement of the previous side garage with a two storey side extension. Two further applications approved in 2012 have brought the house to its current layout, which include a double storey side and rear extension with lantern roof-lights and conservatory style glazing to the rear.

No. 7 Pembroke Villas only application dates back to 1967 and proposed the erection of a side extension over the existing garage structure.

No. 6 Pembroke Villas which, along with No. 5 is the central point of the Pembroke Villas row, had the previous side garage structure replaced in 1978, followed by alterations to the rear elevation to create French doors with metal railing balcony in 2002. A planning application approved in 2007 included the creation of a larger two storey side extension with lantern roof-light, along with a new balcony, staircase and railing connecting the side extension to the rear garden. A further planning application in 2019 was submitted for minor amendments to the basement internal layout.

No. 5 Pembroke Villas was extended in 2011, following the approved demolition of the previous garage structure and the erection of a two storey side and rear extension. In 2019 other minor external alterations have been completed.

No. 1, 2, 3 and 4 all had early side extensions to the basement, ground and first floors. Thought to be only a few years after the houses were built, so 1856-1860. The side extension at No. 1 are substantial (which bookends the row).

No. 4 Pembroke Villas initially has a basement, ground and first floor extension, thought to be around 1880. In 2013 an orangery was added to the rear of the existing three storey side extension.

No. 3 Pembroke Villas first recorded planning application is dated 1966 and permitted the erection of a garage structure. A few planning application in the 80's included some external amendments like the replacement of the previous timber fence with a brick boundary wall and wrought iron gate. A further application in 1987 allowed the erection of a rear conservatory on plinths. In 2005 permission was granted to create a new large opening between the front and rear reception rooms at ground floor level. In 2016 a planning application was submitted and approved to create a large patio and steps connecting the rear garden to the lower ground floor. More recently, in 2022, two approved applications allowed a few redecoration and maintenance works to the external walls, along with roofing works to improve its thermal insulation.

No. 2 Pembroke Villas had the previous detached garage and side addition demolished in 1980. A ground floor rear extension permission was granted in 1995. Numerous amendments were approved in 2006 when it was proposed to incorporate the basement flat to the main house, including a two storey rear extension and a second floor extension above the existing side addition and general internal alterations. The last planning application, dated 2023, proposed alterations to the front garden, including the installation of railings and vehicular and pedestrian gates.

No. 1 Pembroke Villas have been through several change of use applications and conversions from four self-contained flats to a single dwelling. Main amendments to the building are the creation of the rear extension and balcony in 2010 and the alterations to the main roof, approved in 2011.



1952 Photograph of Pembroke Villas



9 Pembroke Villas



8 Pembroke Villas



7 Pembroke Villas



6 Pembroke Villas



5 Pembroke Villas



4 Pembroke Villas



3 Pembroke Villas



2 Pembroke Villas



1 Pembroke Villas

05. Pre-Application Advice

Pre-planning feedback has been received on the 7th of August 2024 in regards to the proposal for the demolition of the existing garage and its replacement with a basement and ground floor side extension with pitched roof, along with internal alterations, hard and soft landscaping and rear fenestration amendments (ref. 24P0183/PREAPP).

The overall feedback was positive and the proposal has been considered to be acceptable in principle, subject to the submission of further details, which is the objective of this planning submission.

The section below shows the pre-planning feedback in blue italic, with MJA comments in black bold:

LOCATION: 10 Pembroke Villas The Green Richmond TW9 1QF

PROPOSAL: Demolition of the existing garage and replacement with a basement and ground floor side extension with pitched roof, rear elevational changes, internal alterations and hard and soft landscaping

I write in reference to your request for pre-application advice and following a site visit with the Conservation officer held 25/7/24.

[...]

External Alterations

SIDE EXTENSION

The principle and design of the proposed side extension is considered to be acceptable. The existing garage extension is of modern, unremarkable design and makes no contribution to the special interest of no.10. Its removal would not result in the loss of historic material.

Noted and agreed.

The proposed side extension has been designed to match that at no.9, with matching garage doors, ground floor level set back, and sloping roof. It would not be as deep as the one at no.9, extending only a short way past the rear elevation. The massing and scale would be acceptable and the extension would form a subservient addition to the side of no.10. Matching the design with no.9 would restore an element of symmetry to the pair which is an important feature of their architectural design. It would also result in a higher design quality of the side element, improving its appearance and introducing a design and structure more sympathetic to the main building.

The proposed side extension size and layout match the one submitted for the pre-application.

I note the proposed use of stock brick and lime mortar with cast iron rainwater goods, which is acceptable and appropriate.

Same elements are proposed with this application.

REINSTATEMENT OF CHIMNEY

It is proposed to reinstate a missing chimney to the front elevation above the entrance door. Historic photographs show that this was an original feature to Pembroke Villas but all properties have since lost the full height chimney in this location. This is considered to be acceptable as it would restore an original feature of the building and would better reveal the original architectural design and appearance of no.10.

The reinstatement of the front chimney is part of this application.

REMOVAL OF METAL STAIRS TO REAR AND RECONFIGURATION OF LIGHTWELL STEPS

Considered to be acceptable. The metal stairs are an unsympathetic addition which obscure the rear elevation and make no contribution to the appearance of the building. Their removal would be welcome as it would better reveal the rear elevation. Alongside this it is proposed to remove the rear door to these stairs and install a new window. This would be a moderate alteration which is acceptable. The area below the window should be carefully infilled with matching stock brick and lime mortar.

The reconfiguration of the lightwell steps would simplify the layout of the rear garden and would not impact on any historic material.

The removal of the metal stairs and balustrade is also part of this application, along with the reconfiguration of the rear lightwell and steps to the garden and the replacement of the existing rear door with a new window to match the existing. The infill brickwork under the proposed window and the new lime mortar will match the existing, as indicated in the proposed drawings.

Internal Alterations

BASEMENT

The proposed alterations to the basement are considered to be acceptable. These comprise new partitions to the front room, alterations to door openings, and the reinstatement of the arch to the vault in the shower room. The new partitions to the front room would result in the blocking up of the existing opening which was made under the 2010/11 applications. This would restore an element of the original plan form and the smaller partitions are considered to be acceptable as the historic use of the basement as the kitchen/service area would have comprised smaller rooms and partitions such as a larder or scullery.

The proposed basement layout includes the above alterations, considered to be acceptable.

The majority of the door openings relate to identified historic openings in the original fabric, with the potential for the existing doors to have been retained fixed shut. The new opening in the flank wall to the rear of the house (between 'media room' and 'gym' would be a single door and is considered to be acceptable as it would retain the overall original plan form and would only result in a small loss of historic material. This is not considered to have a harmful impact on the overall special interest of no.10.

Both the reinstatement of historic openings and the new single door opening to the gym are proposed as part of this application.

GROUND FLOOR

The most substantial change to the ground floor is the relocation of the kitchen from the basement to the rear room of the ground floor. As noted above, this room contains well-preserved skirting, cornicing and a ceiling rose which contribute strongly to the architectural significance of the building. These need to be carefully considered to ensure all elements are preserved. It is noted that the kitchen units are proposed to be freestanding, scribed around the skirting and fixed to battens on the wall. An elevational plan of the room demonstrating this should be provided as part of a planning/LBC application.

Internal room elevations showing how the free standing kitchen units are scribed around the skirting and fixed to battens on the wall, have been submitted as part of this application.

Details of the services and plumbing required should be provided setting out how it would impact on the fabric of building. The relocation of the kitchen would be considered to be acceptable providing it can be demonstrated that the services would not adversely affect the historic fabric of the building.

The proposed services and plumbing layout is part of this application, to show that the relocated kitchen does not interfere with the original fabric of the building.

Reference was made during the site visit to new floor finishes in the new kitchen. Full details of this should also be provided, including a floor build up section drawing, and details of materials. The removal of any original floor finishes or structure would not be supported.

A floor build up detailed drawings have been submitted to show the removal of the modern carpet, the protection of the existing floor boards and the installation of the proposed timber flooring.

A double-door opening between the front and rear rooms is proposed which is considered to be acceptable in this instance. Historically, these would have been the grand, formal rooms of the house and so an opening of this size is considered to be acceptable in this location.

A double door opening connecting the front reception room and the kitchen is included in the submitted proposal.

However, it is noted that a set of double doors are also proposed between the kitchen and the rear of the hallway. This element is not supported as this is considered to form an overly large and excessive opening in this location. This is connecting the kitchen with a series of smaller rooms (the back of the hallway and the new 'library') on a more intimate scale than the two grand formal rooms. It is also providing a more notable alteration to the historic floor plan and circulation. An additional door in this location would not be objected to in principle but the opening should be revised to be a single doors' width rather than a set of double doors. This would ensure that it is in scale with the other openings onto the hallway and reflects the transition from the grand reception rooms to the hallway and 'library'.

The opening between the proposed kitchen and the rear lobby has been reduced in size to reflect the above comment.

The other alterations proposed to the ground floor include the removal of the WC and store (installed as part of the 2010/11 scheme) and two new openings in the flank wall. The WC and store are wholly modern installations and materials and removal is acceptable as it would remove this modern addition and restore an element of the original floor plan and scale of the hallway. Similarly to the basement level, the new openings in the flank wall would be acceptable as they would be a single doors width and would only result in the loss of a small amount of historic material.

The above alterations are included in the submitted proposal.

FIRST FLOOR

Alterations to the first floor are limited to the conversion of the front room into a bathroom and the addition of a jib door between the front and rear rooms. It is noted that consent was granted for the conversion of the smaller front room into a bathroom under the 2010/2011 scheme. The conversion of the bedroom to a bathroom would be acceptable providing it can be demonstrated that the plumbing required would not adversely affect the historic fabric of the building.

Further information regarding this should be submitted as part of a planning/LBC application.

The new jib door is considered to be acceptable as this would be a moderate alteration and would not impact on the overall plan form.

Details have been submitted to demonstrate that the proposed master bathroom plumbing and services will not alterate the existing fabric of the building. Internal elevations are provided too.

SECOND FLOOR

No modifications are proposed to be made to the second floor aside from the installation of modern joinery which would be fixed via battens to the wall, and partition walls to the under-eaves storage. Both alterations are considered to be acceptable.

Both the above alterations are included in this application.

Neighbouring Residential Amenity

There is concern that the proposed extension at its height and proximity could appear overbearing to the side facing window of No.11. However this is dependent on whether this window is a primary window to a habitable room. It is advised to ascertain this information prior to the submission of any planning application to justify the proposals.

A site plan has been included in this Heritage Design and Access Statement, under section 06.3 - Proposed side extension, assessing that the rooms at ground floor of No.11 facing No.10 are not habitable room. In particular, they are a powder room and a pantry. Therefore, the proposal has no harm to No.11.

There is also concern that the proposed side extension would now project a distance from the rear elevation windows of No.11 that the BRE 45 degree test would fail. The applicant is advised to provide diagrams to demonstrate that the 45 degree test is met with any future planning application.

The above mentioned site plan also shows the relationship between the proposed side extension and No.11 rear window to the kitchen. Although the proposal does slightly breach the 45 degree rule to this window, it is not the primary window to this living space and it is not considered to be primary source of light for this room, which benefits from a larger window further away from No.10. Furthermore, the established Leyland Cypress trees running along the boundary wall on No.11 side would screen the view of the proposed No.10 extension.

The proposed internal alterations and basement additions are not considered to result in impact to the amenity of neighbouring properties.

Noted and agreed.

It is noted a plant room is proposed. The applicant should submit a noise impact assessment with any future application to demonstrate this will not be of a nuisance to neighbours.

This is actually a store room in the proposed layout and therefore a noise impact assessment is not required.

Transport and Parking

The proposals would result in the loss of a garage and potentially 1 x parking space. The council's transport officer has been consulted whom notes that it is clear the garage has not been used to park a vehicle for many years and it may be considered unsuitable for modern vehicles. Given the off-street parking space remaining there is no objection to its removal.

Noted and agreed.

Flood Risk and Basement Development

The application site is in Flood Risk Zone 1 as well as being in a critical drainage area and a throughflow catchment area.

Any future application should be accompanied by a flood risk assessment as well as a sustainable drainage statement.

Given the site is within a throughflow catchment area, the SFRA (adopted September 2020) stipulates that applications for subterranean development in such areas are required to fulfil site-specific requirements to demonstrate that basements can be safely developed without increasing throughflow and groundwater related flood risk through the submission of a site specific screening assessment with on site borehole information, and if necessary, a Basement Impact Assessment. These both need to be prepared by a suitably qualified expert.

Noted. The application is accompanied by a Flood Risk Assessment and a Basement Impact Assessment, along with a Sustainable Drainage System report.

Trees

Trees on the neighbouring property are noted to be in proximity to the proposed garage. It is advised that a tree survey is undertaken and any future application is submitted with an Arboricultural Impact Assessment and Method Statement.

Noted. An arboricultural Impact Assessment and Method Statement have been submitted with this application.

Biodiversity Net Gain

All applicants applying for planning permission will now be required to set out whether they believe their development is (or is not) subject to BNG, and if they believe that the proposed development is not subject to BNG they must set out the reasons for this.

Noted. A BNG exemption statement have been submitted, to confirm that the proposal is not subject to BNG.

06. Design proposal

06.1. Introduction

The new owners have three main considerations:

- 1.They want to make the most of the principal floors and therefore move the functions they use the most onto the main floor. Modern family living is based around the idea of kitchens being central spaces and therefore it is proposed to move it to the ground floor to utilise the use of the principle rooms.
- 2.They want to create secondary accommodation on the ground floor for a study and a snug too.
3. Finally, although most importantly, they would like to rebalance the pair formed by Nos. 9 and 10 Pembroke Villas, to strengthen the significance of the listed buildings along with sensible restorative works.

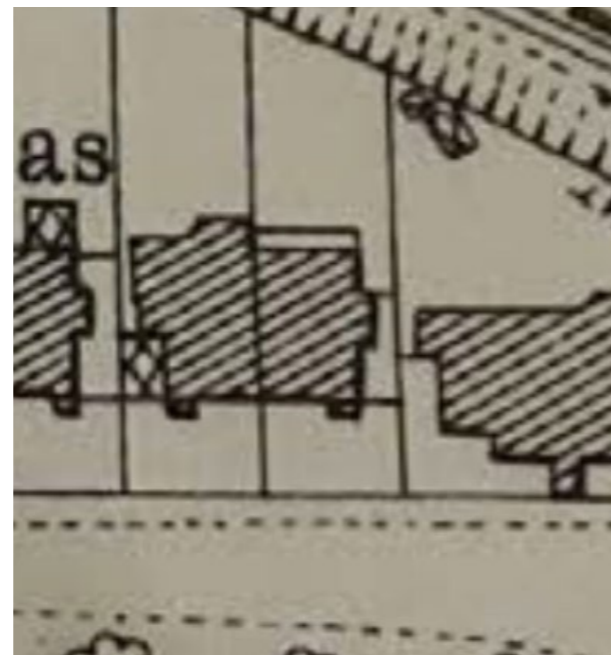
06.2. Early Side extensions

Pembroke Villas were developed as a set of 10 villas, broken up into 5 pairs. The pairs Nos. 7&8 and 9&10 being very similar. Nos. 7 and 8 both have basement / garage and ground floor side extensions albeit No. 7's is currently in very poor condition.

No. 9 also has a basement and ground floor side extension set behind the garage and therefore is unbalanced to No. 10 as No. 10 lacks the sash window and pitched roof behind at ground floor level and the existing garage does not have the high quality details that the original house has.

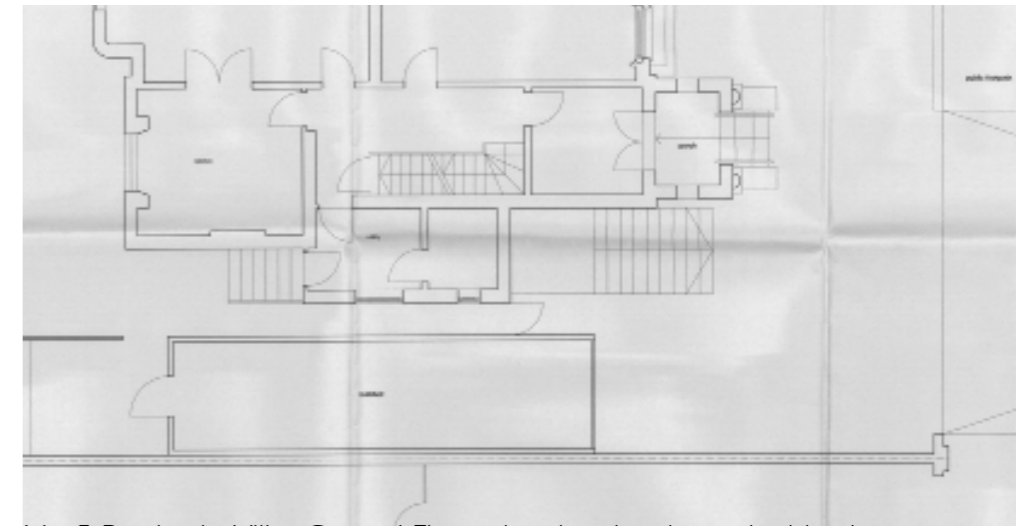
Originally there was a small side element at Basement and Ground Floor, which has been removed / built over as with most of the other villas. At No. 10 it was replaced with the existing garage in the 60s. These side extensions show on historic maps and drawings as can be seen below and in the adjacent drawings (which show the examples at No. 5 and 6 Pembroke Villas.

We would also note that consent was granted in 2011 for a pitched roof on the garage. See the image adjacent, which permitted additional massing in that location.

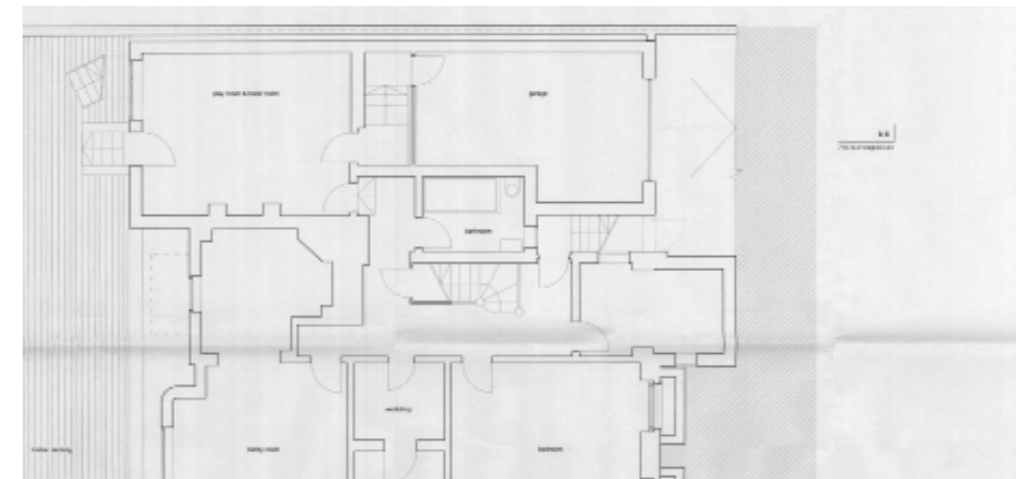


Extracts of 1868 coloured plan and early 20C black and white plan showing the small side elements at No.10 Pembroke Villas

The following planning drawings show early ground floor side extensions at Nos. 5 and 6 Pembroke Villas:



No. 5 Pembroke Villas Ground Floor plan showing the early side element



No. 6 Pembroke Villas Basement plan showing the early side element



2011 approval showing the pitched roof.

06.3. Proposed Side extension

Our proposal looks to restore the symmetry between No. 9 and No. 10 with a sensibly designed and subservient replacement side extension, proposed to be well set back (approx. 4m) from the main house front elevation and out of view on the approaches.

The proposed side extension aims to enhance the look of the whole Pembroke Villas set piece too, as shown in following street scene elevations.

No. 5 and 6 Pembroke Villas are the centre of the original development and this is highlighted by the size and volume of this pair, set higher than the other four pairs. The left side pairs, from No. 1 to No.4, present similar features between each other, one of which is the side extension being almost as tall as the main house. The right side pairs, formed by Nos. 7 and 8 and Nos. 9 and 10, have their side extensions matching the main house ground floor height except for No.10, which is the only one breaking this pattern, with its side extension lower and of poor quality unbalancing the street scene.

Nos. 8 and 9 side extensions have today a more uniform look, given by the use of the same external materials (London stock bricks, stucco render, white painted timber glazing and painted top cornices) and their matching height.

Our proposal aims to adopt the same language and proportions for No.10 side extension.



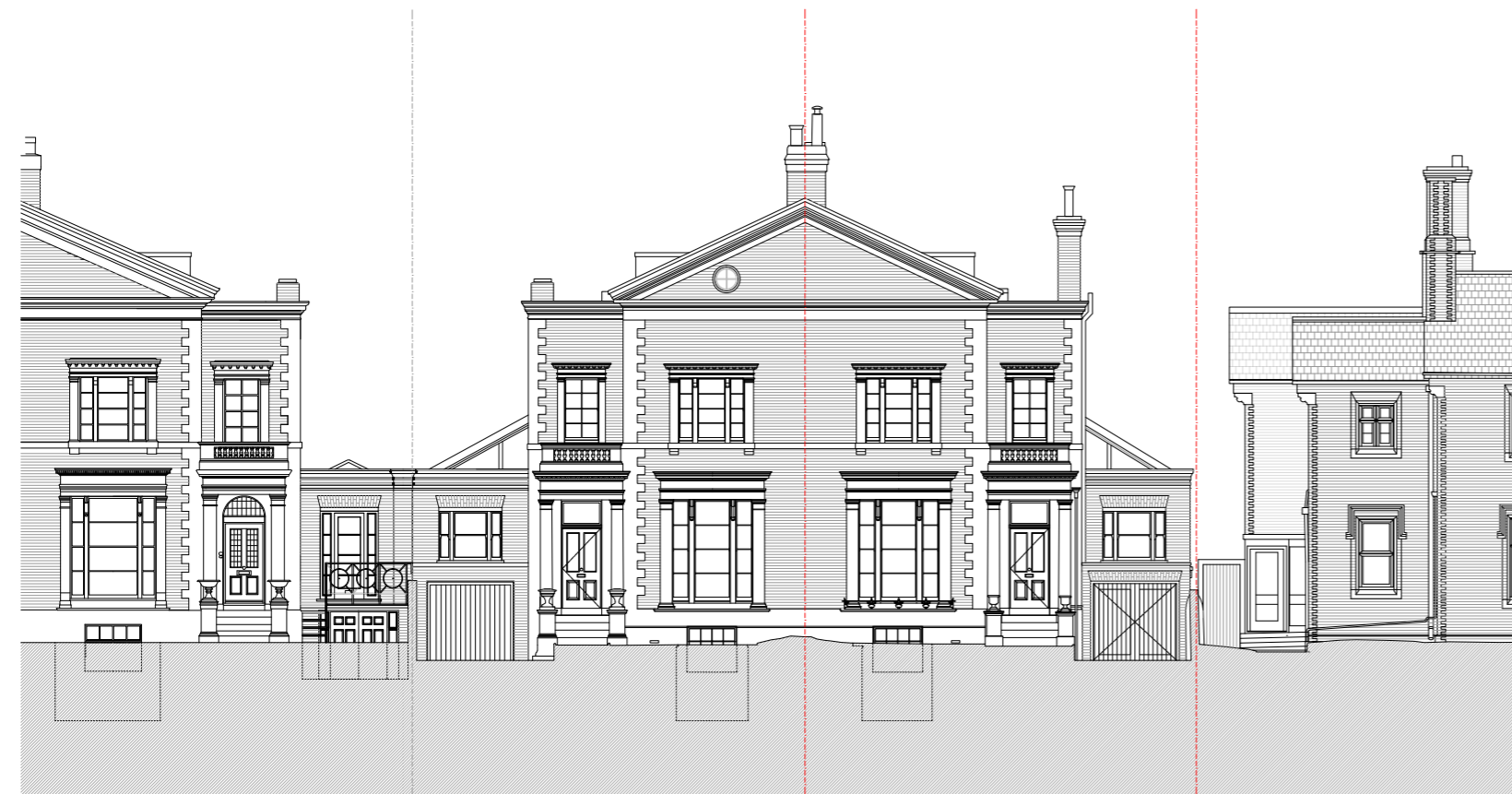
Existing Pembroke Villas street scene



Proposed Pembroke Villas street scene



Existing Front Elevation



Proposed Front Elevation

Garage

The garage front elevation is proposed to be rebuilt in the same location as existing but, rather than the roof sitting on the side boundary wall, it is to be set in from the boundary. The proposed levels are to match No. 9 Pembroke Villas garage.

The existing concrete lintel to the garage is not in keeping and the replacement structure will include a brick flat arch built from matching reclaimed bricks, in line with the head detail on the side elevation and on the side extensions to No. 8 and 9.

The doors would be formed by painted t&g timber panels which is more in keeping than the door at No. 9.

Ground Floor Side Extension

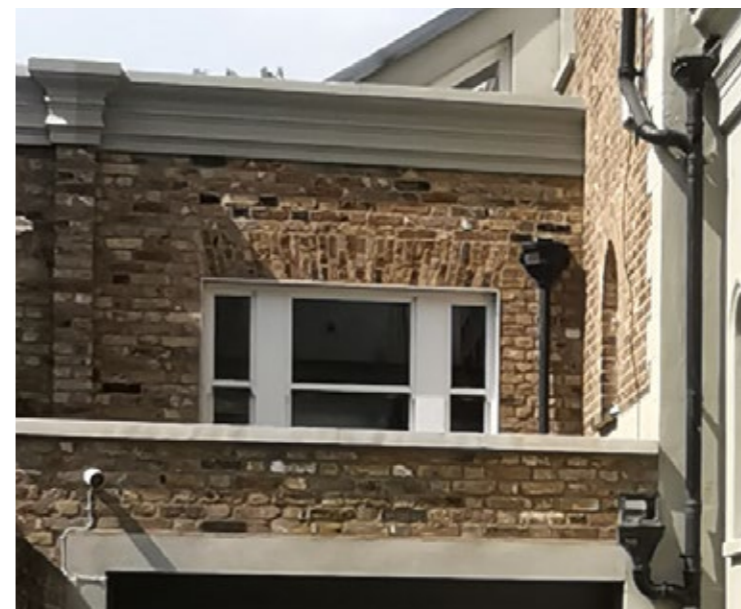
A large part of the garage to the rear would be demolished to allow a basement and ground floor replacement structure. The floor level is to match the finished floor level of the main house Ground Floor. The extension would match No. 9 in design from the front (it is not as large to the rear) with a painted timber sash windows just visible above the roof of the garage. The element above the garage is to be well set back from the front elevation by nearly four metres meaning its not visible from most vantage points (see visuals on the next pages).

The roof would be part flat and part pitched to continue the symmetry with No. 9

The brickwork would be in reclaimed stock to match existing, flush pointed in lime mortar and the rainwater goods would be in black cast iron.

Chimney Stack

The existing chimney stack to the side of the house is proposed to be raised, to reinstate its original dimensions, as per the archive images in the "Historical Chronology on Site" section above.



No. 9 Pembroke Villas flat arch brick lintel



Image from 2012 showing the concrete lintel above No.10 garage doors

Proposed 3D Views

The following 3D views show No. 10 Pembroke Villas with both the existing and proposed side extensions, along with the surrounding context including Park Gates to the right, No. 9 Pembroke Villas and the pair formed by Nos. 7 and 8 to the left and the Green to the front.

The existing and proposed images are set on the four main point of views toward No.10 which are the one from the road, the front one from the footpath opposite the house, the side view at the junction between Pembroke Villas and Portland Terrace and the one from the Green.

All the four scenes evidence how the proposed side extension, although with an increased volume than the existing garage, is still subservient to the main house, as well as improving the symmetry between the Nos. 9 and 10 pair. The Ground Floor addition sits approximately four meters back from the front wall of the house, making it very discrete and barely visible from any point along the road and on the Green.



Existing side view of No.10 from Pembroke Villas



Proposed side view of No.10 from Pembroke Villas



Existing front view of No.10 from Pembroke Villas



Proposed front view of No.10 from Pembroke Villas



Existing side view from beginning of Portland Terrace



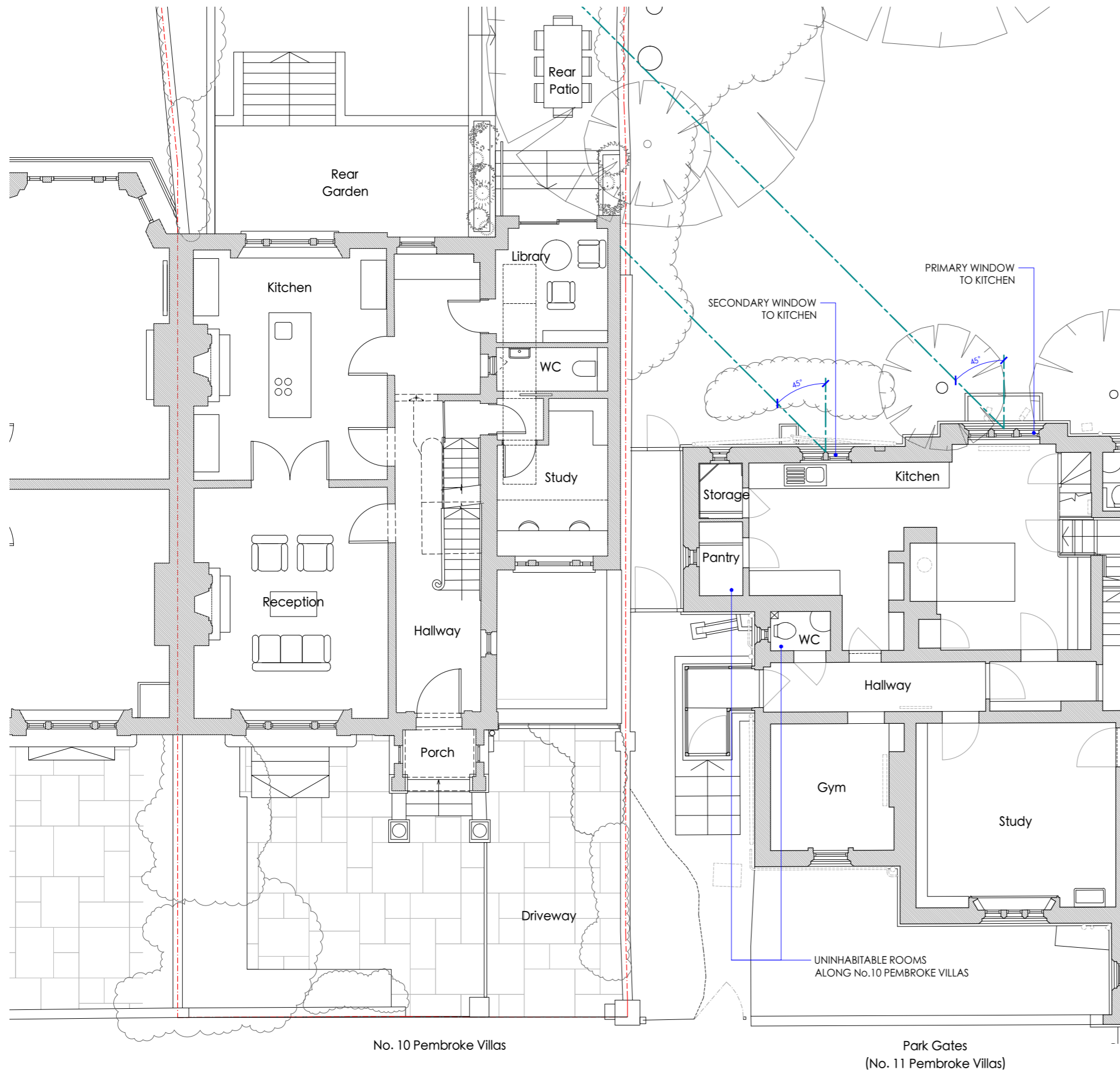
Proposed side view from beginning of Portland Terrace



Existing front view from the Green (the houses are well screened with the trees)



Proposed front view from the Green (the houses are well screened with the trees)



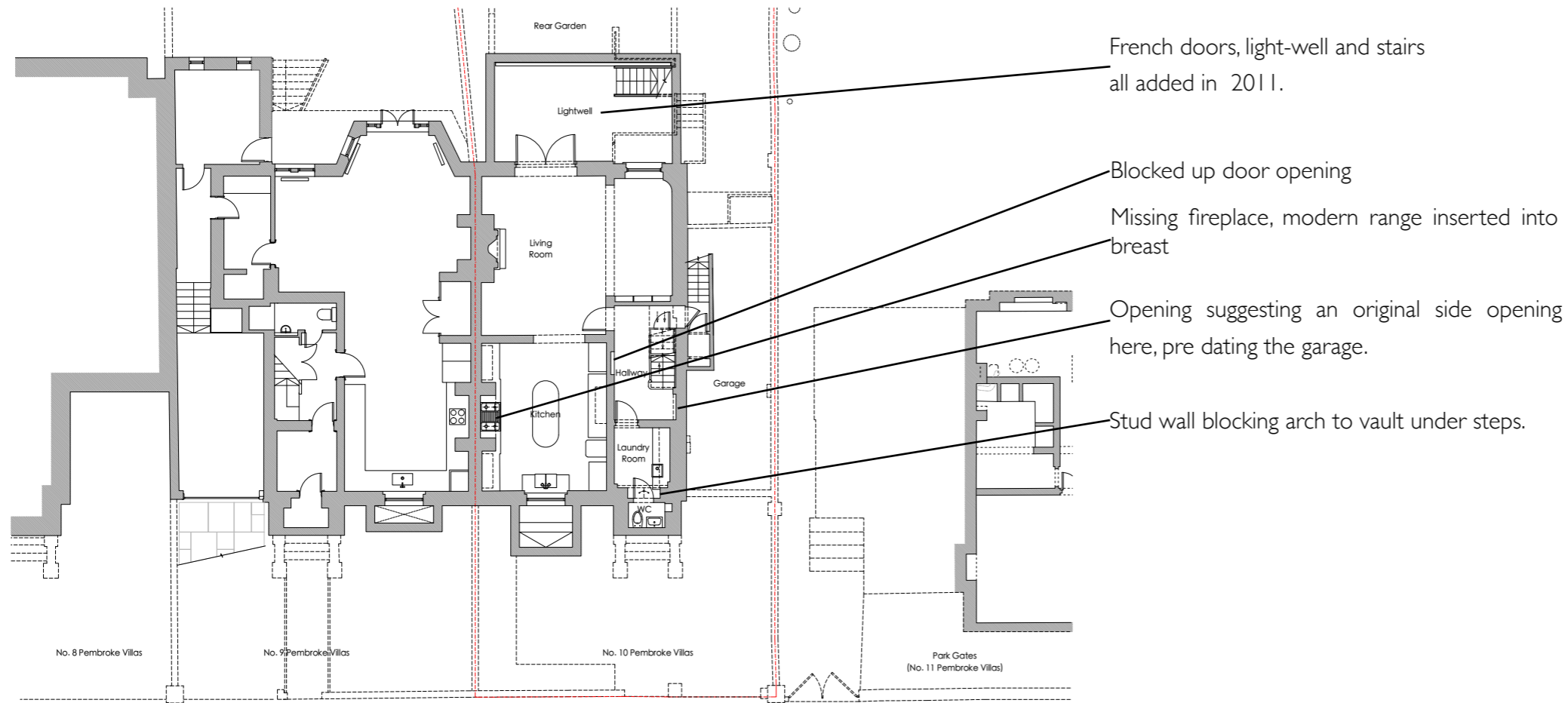
Neighbouring Residential Amenity

The site plan beside shows the relationship between the proposed side extension and the neighbouring No.11 Pembroke Villas, known as Park Gates. As indicated in the plan, the rooms at the ground floor of No.11 facing No.10 are not habitable room. In particular, they are a powder room and a pantry. Therefore, the proposal has no harm to the side of No.11.

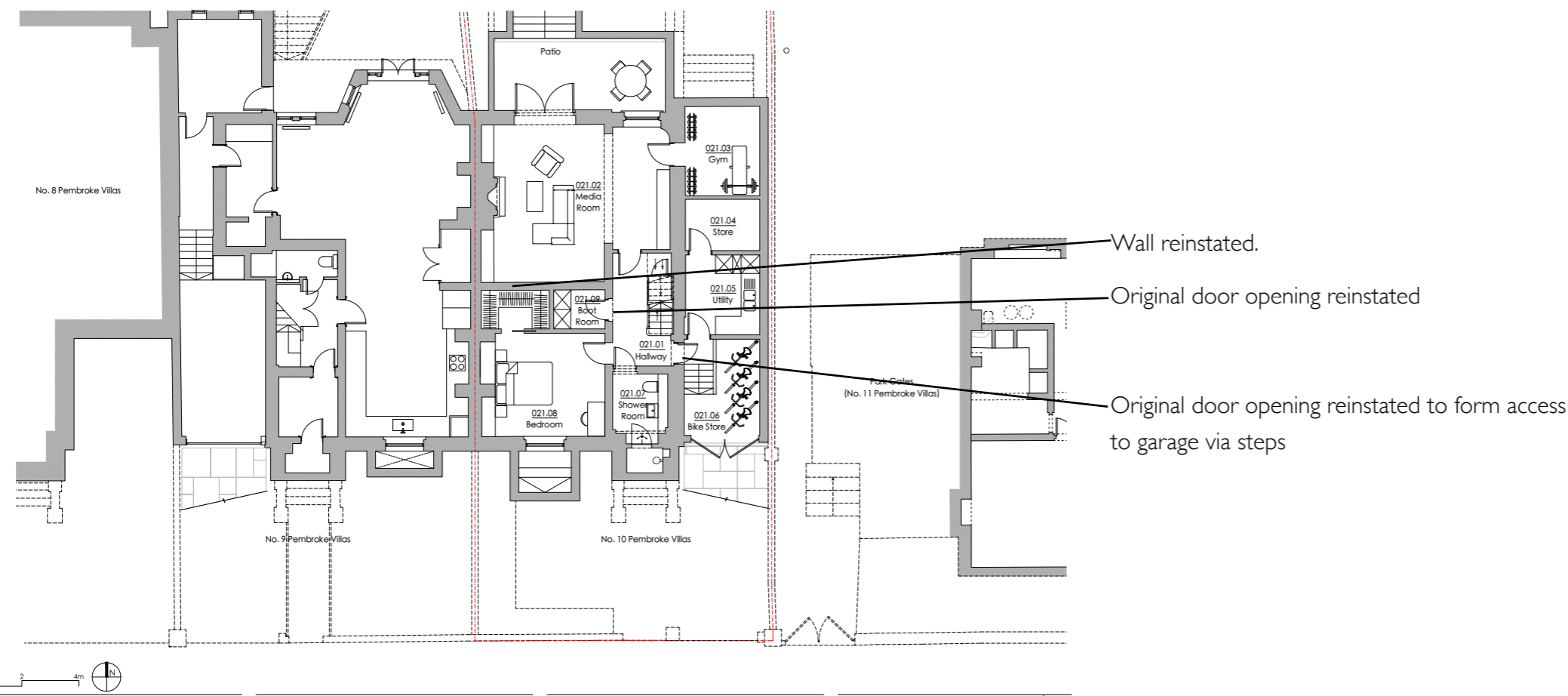
The site plan also shows the projection of 45 degree inclined lines from No.11 ground floor rear windows toward No.10. The window of the storage room connected to the kitchen has not been considered, since this is not an habitable room. The line starting from No.11 kitchen side window meets the proposed side extension, however, it is not considered to be the primary window of this room. The window in the larger area of No.11 kitchen it's the primary source of light for this room, given its location and dimentions. Therefore, the proposal does not affect the amount of natural sunlight into No.11.

Furthermore, the view of the proposed side extension from No.11 rear windows would be largely obstructed by the established Leyland Cypress trees running along the boundary wall on No.11 side.

Proposed Ground Floor Plan - Right of Light



Existing Basement floor plan



Proposed Basement floor plan

06.4. Basement

This floor was been significantly modified in 2012 with a new slab, tanking, and removed partitions. Almost no original details remain apart from some door liners and doors.

The side extension is lowered to provide level access from the basement and include steps down from driveway level.

Two of the original openings are proposed to be reinstated and the existing garage area is reconfigured to accommodate a bike store, a utility room, a store room and a home gym.

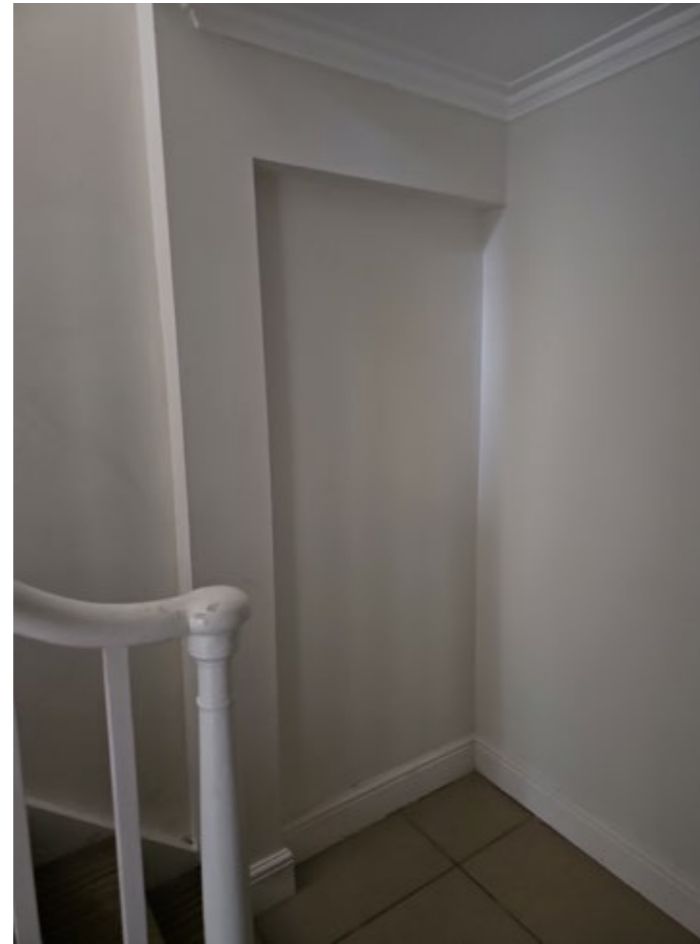
The existing kitchen area is to become a bedroom with walk-in wardrobe and a boot room. The wall between the front and rear room is to be reinstated.

The laundry room and toilet are to be merged to create a shower room with a reinstated arch to the vaults.

Below are a series of images showing some of the main restorative works:



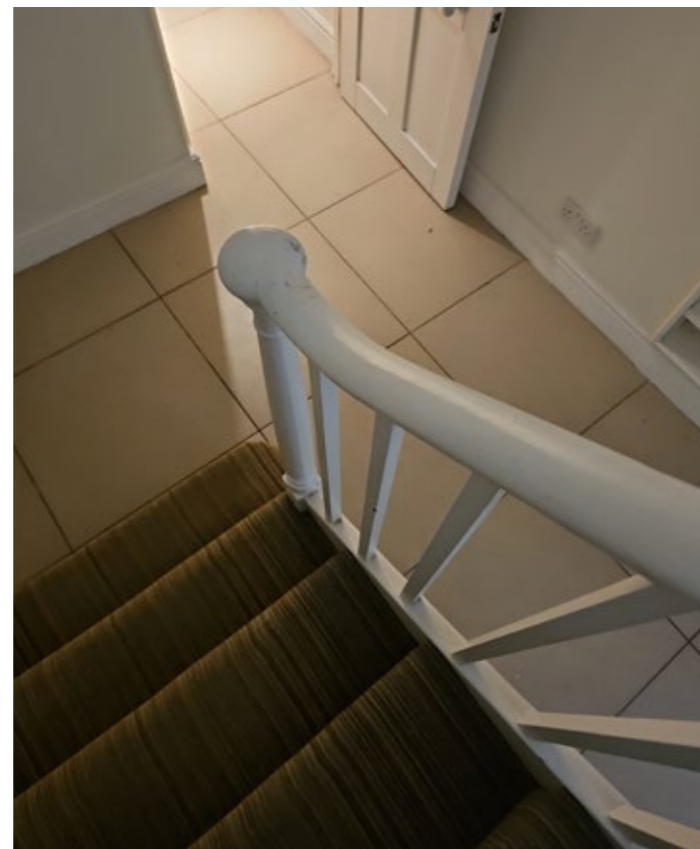
Plasterboard partition covering arch to vault under porch. Full arch to be reinstated, and partition removed



Opening location to side basement extension (to be reinstated)



Opening up works to both sides of the recess (shown in the image to the left) have revealed the presence of modern plaster and block work likely installed in the 1960s to block up the original opening seen by the original timber lintel, also visible.

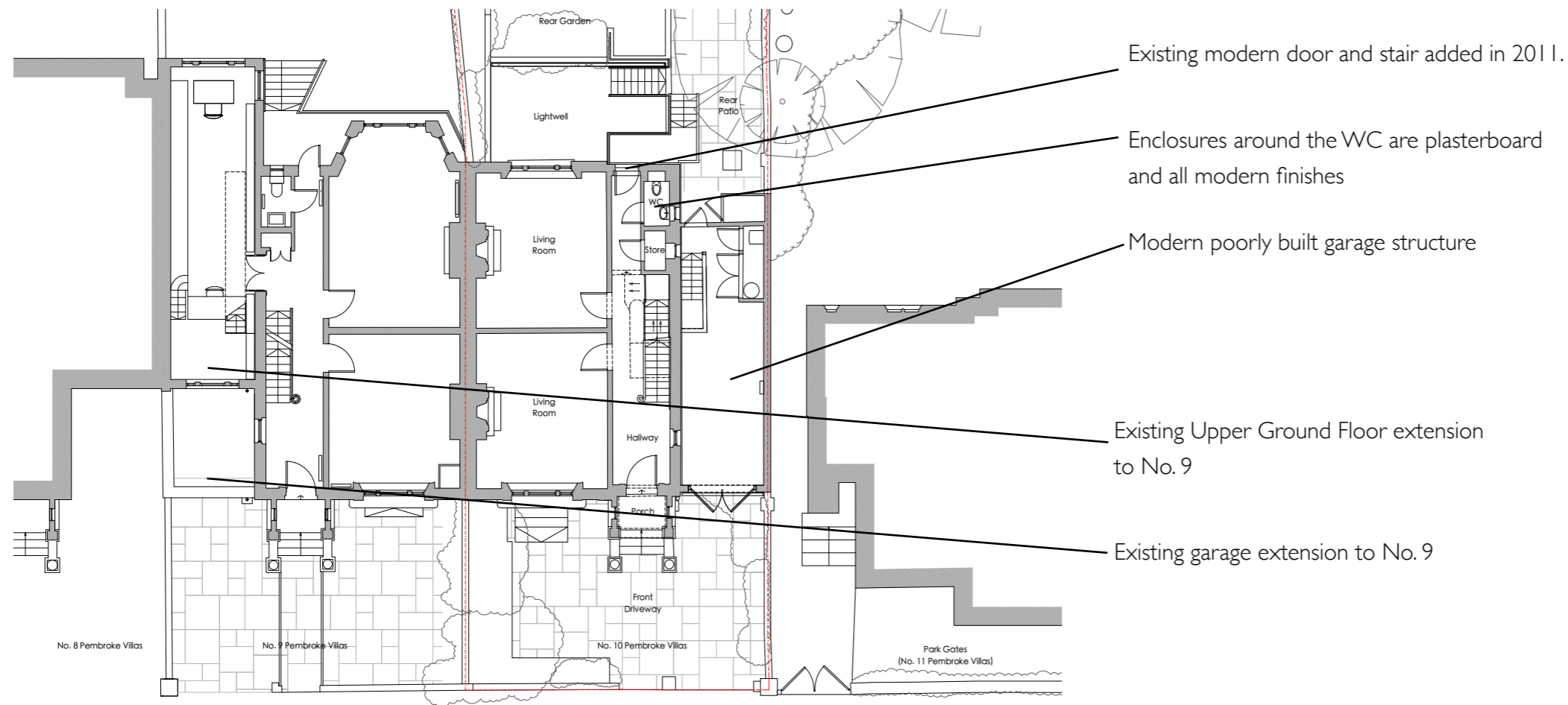


Original handrail to have the paint stripped and French polished



Original door opening to be reinstated.

06.5. Ground Floor



Existing Ground Floor plan

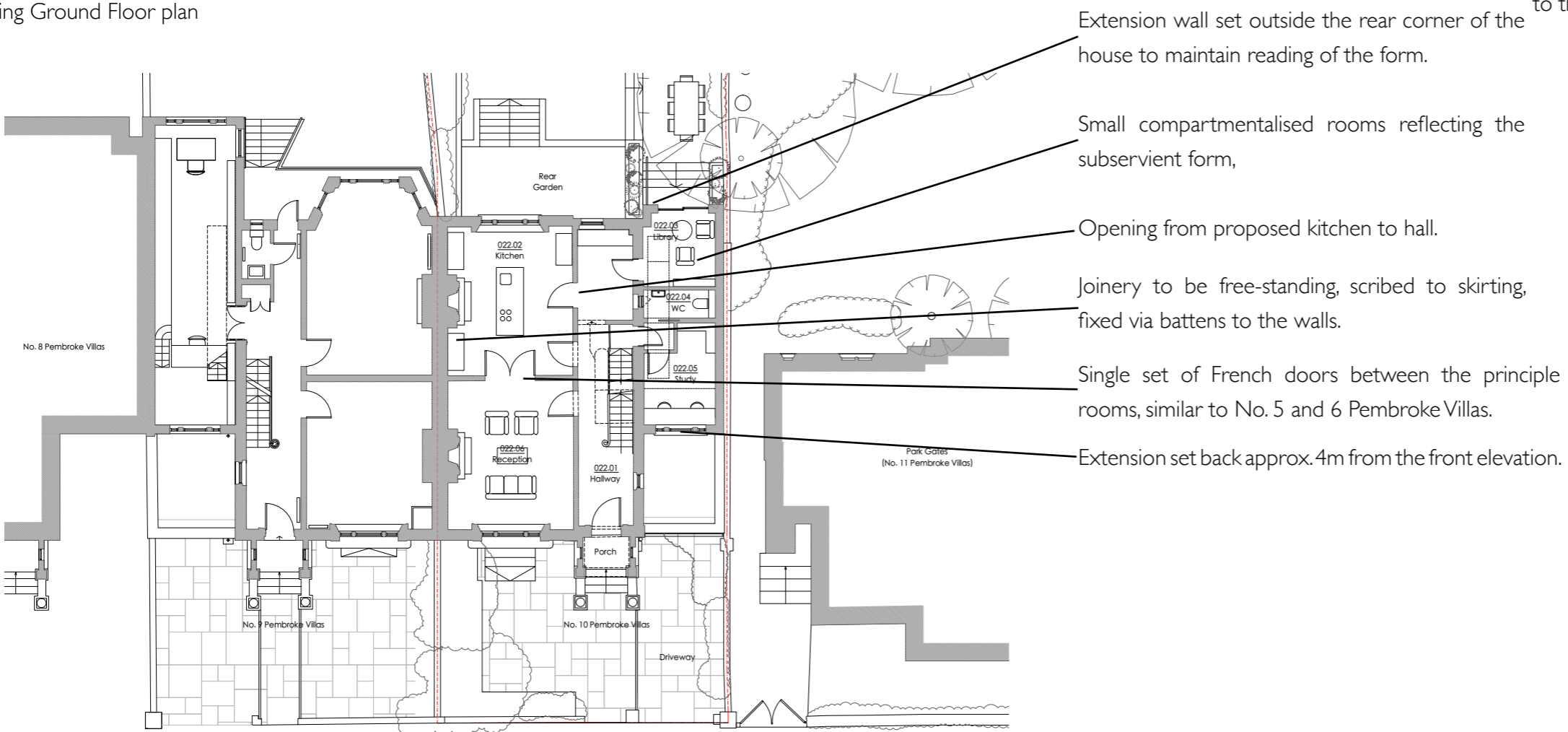
The proposals at the ground floor seek to maintain the plan form of the house whilst adding additional space via the side extension and the movement of the kitchen from the basement to the ground floor.

The proposed kitchen would be created via the installation of free-standing traditional joinery to the rear principle room. The existing fireplace, architectural details, mouldings, picture rail, skirting and cornice would all remain.

The units either side of the fireplace will be set off the return walls and ceiling and scribed to mouldings to ensure no damage to the existing fabric. Drainage would be via the rear elevation.

A set of French doors would be added to the front principle room to provide access and also to the hall where additional storage would be provided, which is reflective of its current use.

The main entrance hall and corridor would be maintained and the proposed rooms to the side extension would be subservient to the main rooms in both size and functions.



Proposed Ground Floor plan

Below are a series of images showing the modern fabric, proposed to be modified in the hall:



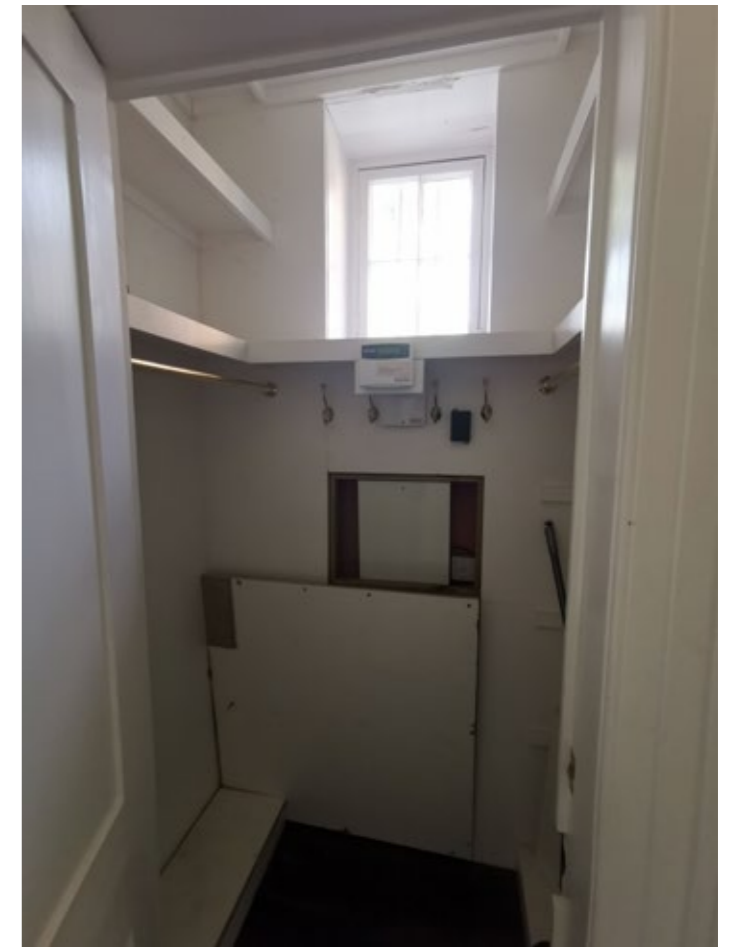
Modern fabric in existing store in hall, from 2011 works.



Modern joinery and plasterboard in WC



Modern plasterboard finishes in store.



Modern finishes to store.

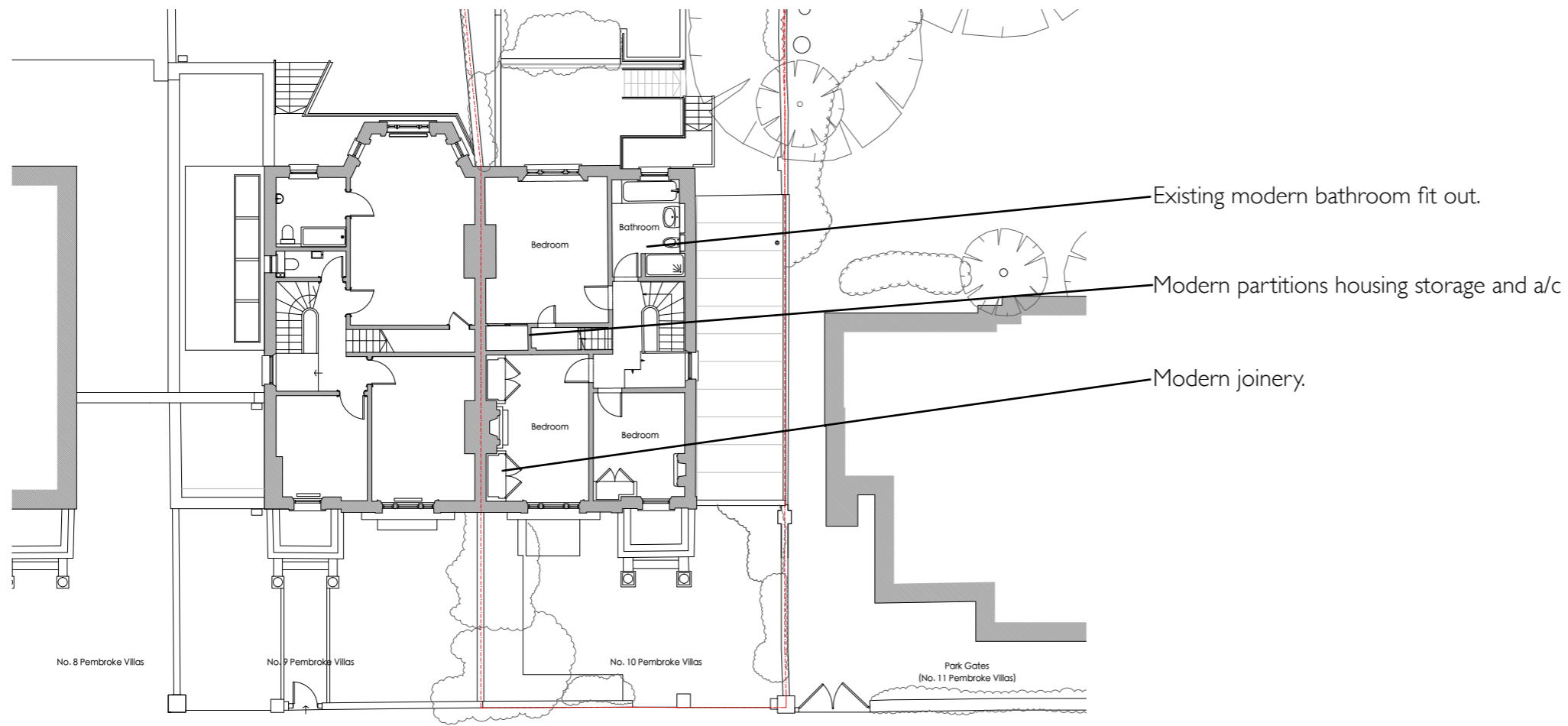
06.6. First Floor

The proposals at the first floor seek to make better use of the principal spaces for the new family.

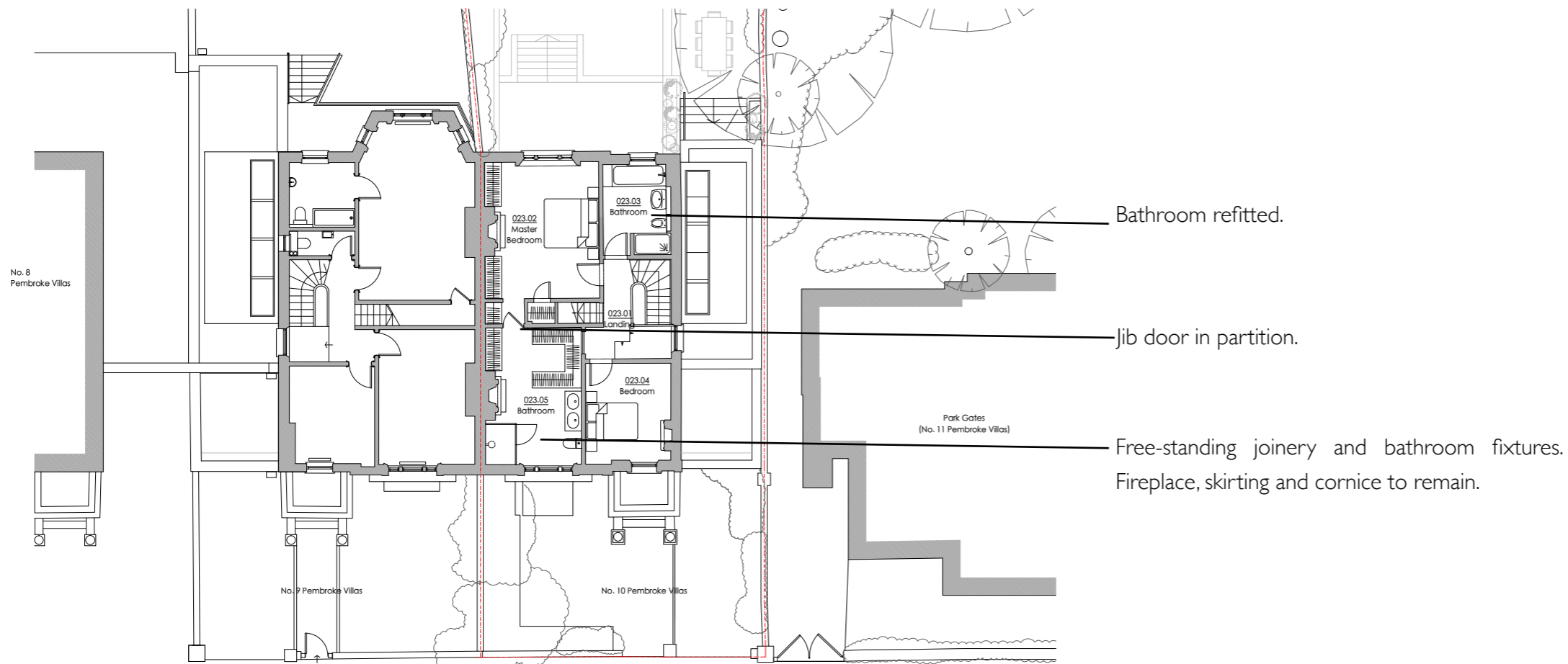
The front room becomes the principle bathroom and dressing room with a small job door connecting to the rear bedroom.

The fittings would be free-standing (i.e. the shower would be a tray with glass enclosure) and joinery would house the vanity unit and basin, free-standing or scribed to the wall with all existing features retained.

The small bedroom to the front would be maintained, as well as the bathroom and bedroom to the rear and stairs leading to the Second Floor.



Existing First Floor plan



Proposed First Floor plan

The three images below show the modern fabric, between the existing front and rear bedrooms, proposed to be modified. The modern fabric was added in 2011.



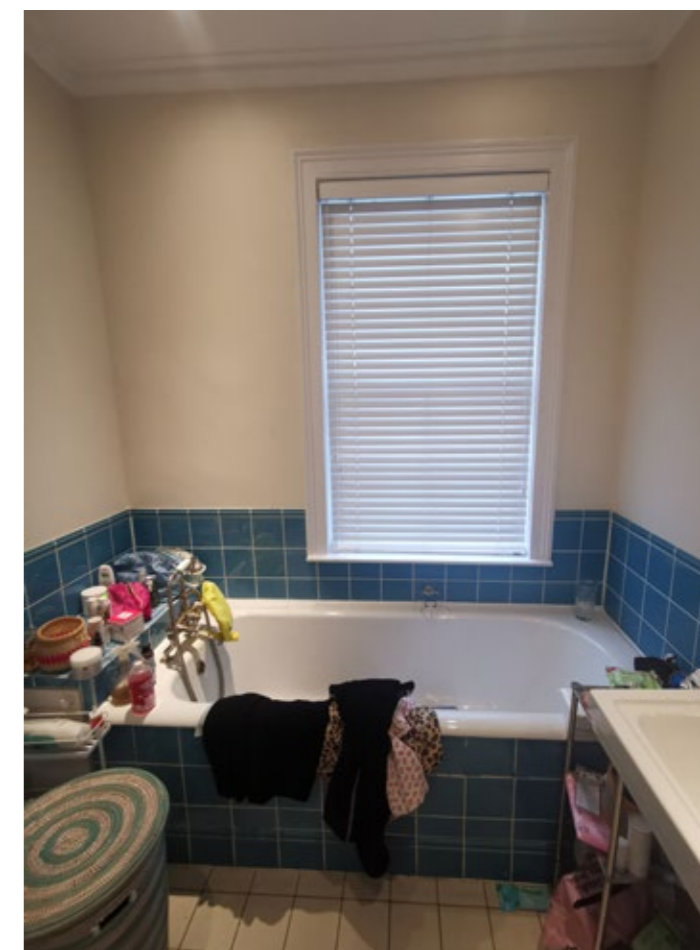
Modern partition accommodating built-in wardrobe and air conditioning unit



Modern plasterboard finishes around air conditioning grille



Modern plasterboard finishes in built-in wardrobe



Modern bathroom to be refitted.

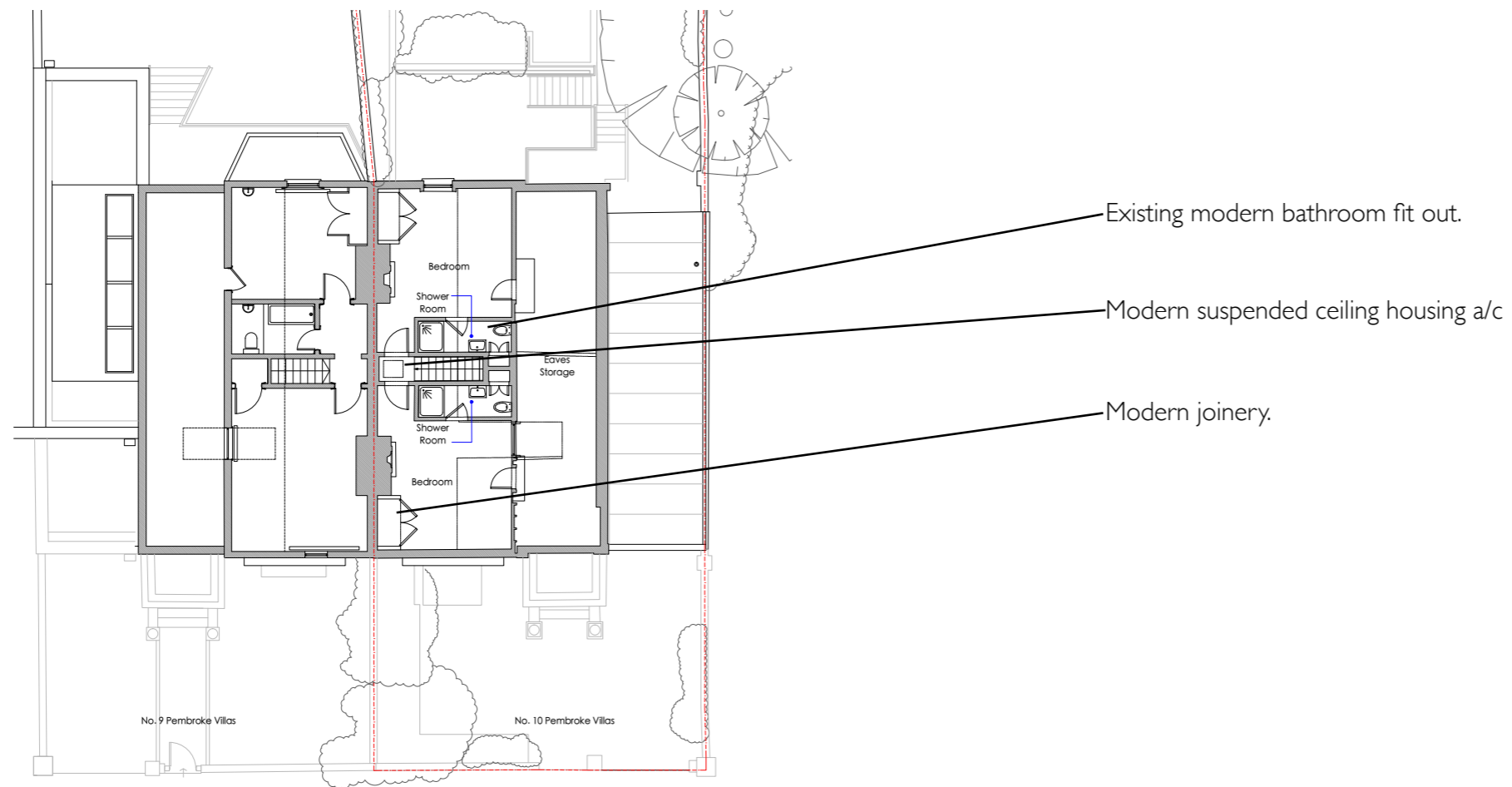
06.7. Second Floor

The current second floor layout was established in 2012, by the removal of the previous bathroom and kitchenette and the creation of two bedrooms with en-suite and the addition of air conditioning units above the landing ceiling.

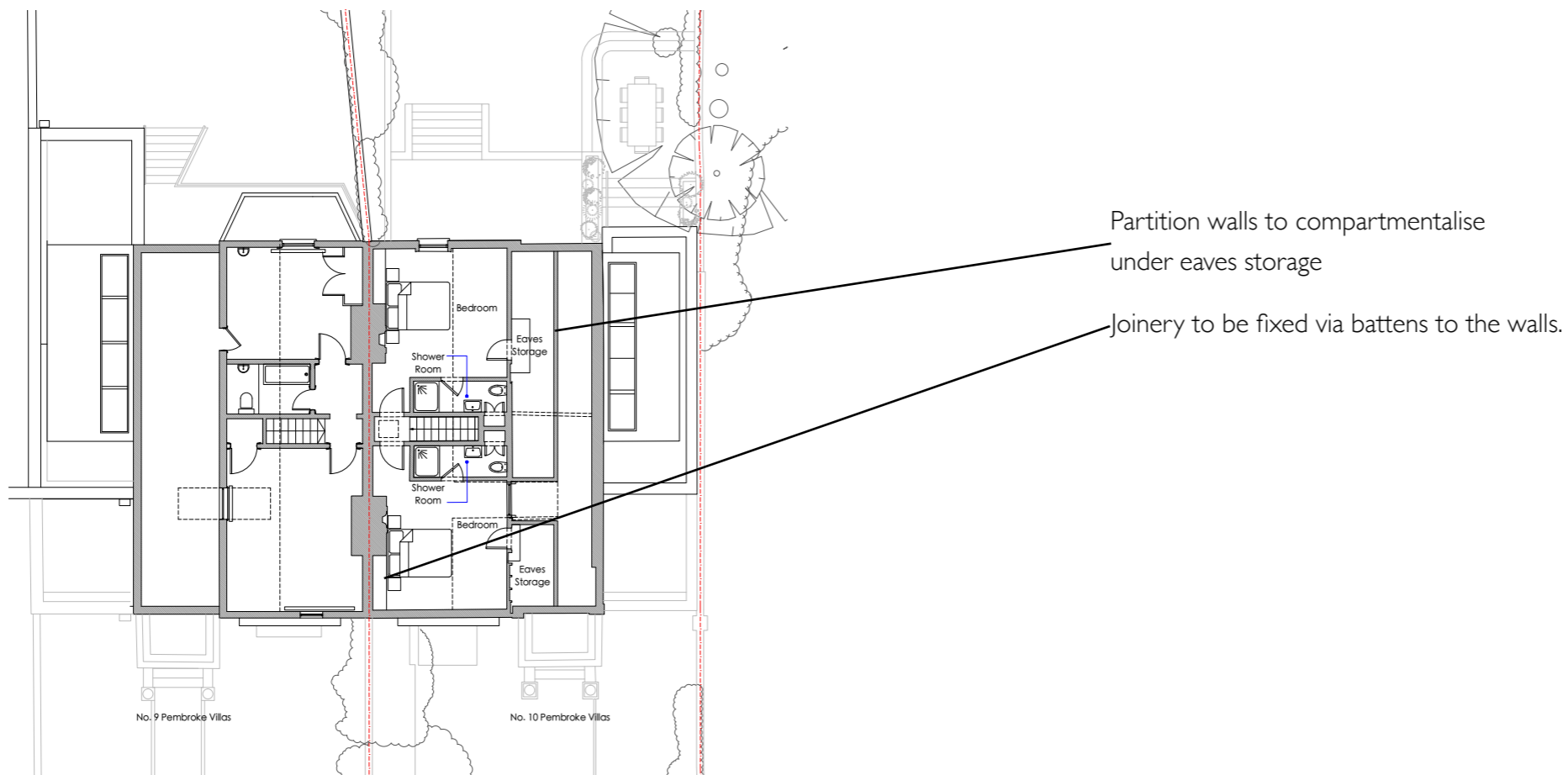
This is to be maintained and refurbished.

We propose to add low level dividing partitions to the eaves to create a family storage area, as well as a dedicated storage area for each bedroom.

The existing en-suites would be maintained and the wall paneling in the bedrooms along the under eaves storage would be retained too.



Existing Second Floor plan

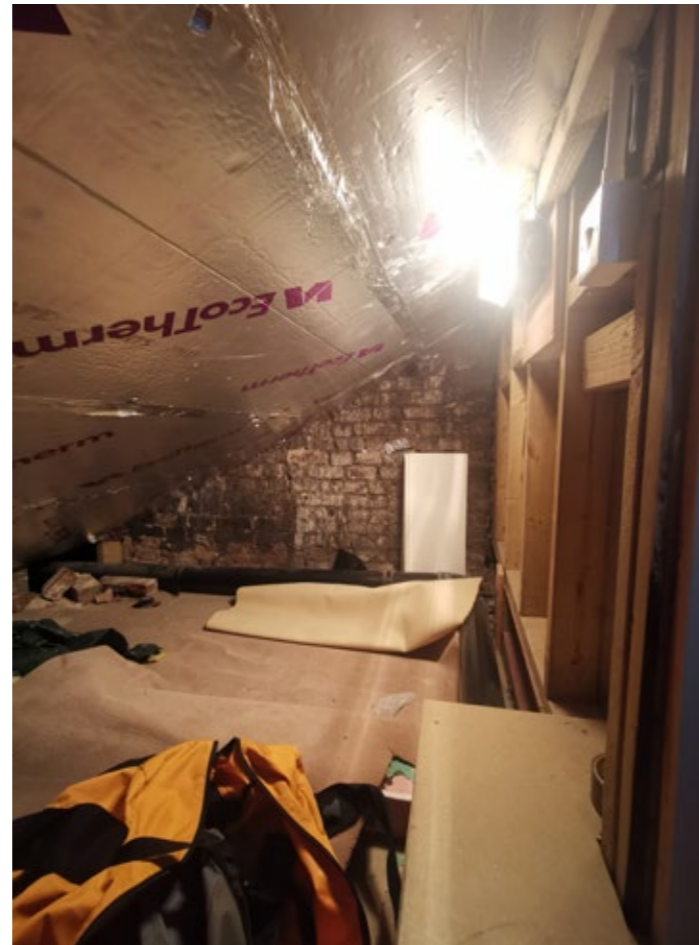


Proposed Second Floor plan

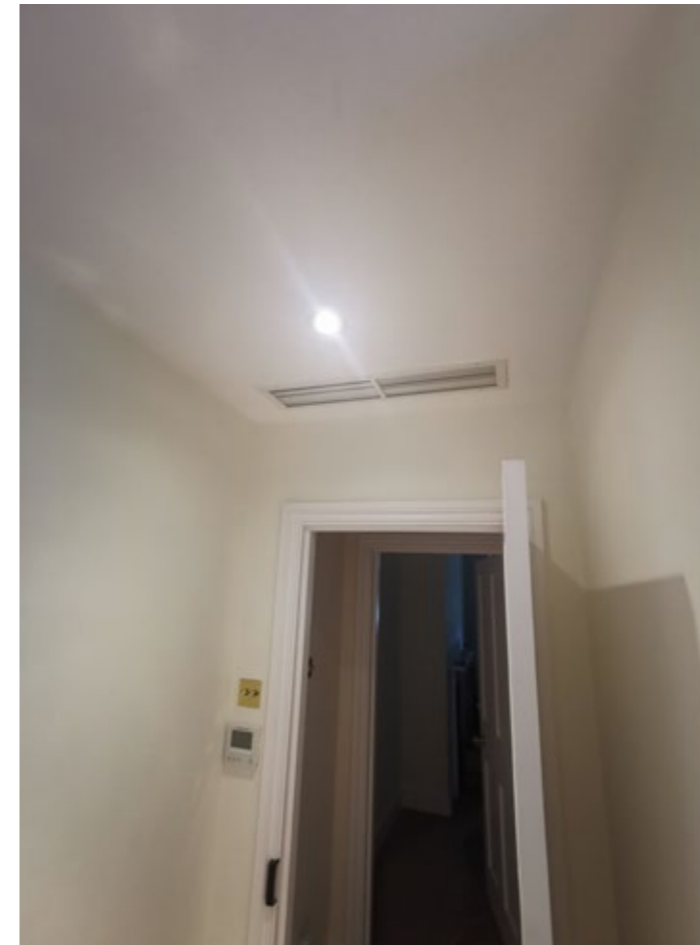
Below are a series of images showing the modern and original fabric elements;



Wall panelling in bedrooms



Under eaves storage with modern insulation and partitions



Air conditioning grille on suspended ceiling



En-suite with modern fittings

06.8. Rear Extension

The proposal to the rear elevation aims to significantly improve the visual symmetry within the pair formed by Nos. 9 and 10 Pembroke Villas.

The proposed side extension is to have to the rear similar architectural elements and proportions as No. 9 side extension. This includes the timber framed glazing, matching reclaimed facing bricks flush pointed in lime mortar and brick flat arches and pitched roof.

The existing modern metal stairs to the rear garden would also be removed and steps from the ground floor extension to the garden level would be introduced which results in a less cluttered elevation.



Existing modern metal enclosure for external air conditioning condenser units

Existing modern door and metal railing added in 2011.

French doors, light well and metal stairs all added in 2011.

Existing Rear Elevation



Proposed Pitched roof and window

Proposed flat arch brick lintel

Proposed timber sash window

Proposed timber doors to rear garden

Proposed Rear Elevation

07. Conclusions

Overall, we consider the proposal to preserve the character and the appearance of this Grade II listed building, as well as enhancing 9 and 10 Pembroke Villas by reinstating the balance within the pair.

This is achieved whilst also providing additional accommodation that best suits the modern needs of the family including a study to allow them to work from home.

At the basement level we have also proposed reinstating a door opening to the front room and reinstating the dividing wall between the front and rear room to better reflect the original plan form.

Externally a chimney stack is also reinstated based on historic photos and the concrete lintel to the garage is replaced with a flat brick arch and T&G timber doors.

The scheme uses high quality materials and finishes in keeping with the original building fabric, both internally and externally, whilst making the proposals fit for 21st Century living. This includes use of matching reclaimed stock bricks on the extension, reclaimed welsh slates on the pitched roof, lath and plaster internally, painted timber framed sash windows and doors for the fenestration and cast iron for the rainwater goods.

The proposal also takes into consideration the pre-planning feedback, reflecting the received comments.

The resulting works enhancing the listed building, its setting in the row (as the villas are group listed) and the Richmond Green Conservation Area.

08. Submitted Drawings and Reports to accompany the Application

- Structural Impact Assessment
- Basement Impact Assessment
- Fire Strategy
- Archaeological Desk-Based Assessment
- Schedule of Works (room by room).
- Existing drawings
- Demolition drawings
- Proposed drawings
- Bathroom elevations and joinery elevations including details of the interfaces between joinery and original protected fabric and finishes and original fabric
- Window and Door Schedule including detailed drawings of new windows and doors at 1:10
- Services drawings
- Flood Risk Assessment
- Sustainable Drainage Strategy
- Arbicultural Implications Report
- Construction Management Plan Proforma
- Biodiversity Net Gain Exemption Form
- Community Infrastructure Levy form