

Westminster House

Minor Material Amendment Design and Access Statement

25 November 2024

Issue 2

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1.1 Introduction

Architects in Practice have been appointed for the tender stages of the Westminster House project, taking over from CGL architects who had delivered the planning stage design and submitted planning application.

The project was awarded planning approval on 11 June 2024 (planning reference 23/3371/FUL)

In developing detailed proposals, there have been some very minor changes to plans and elevations, for example to ensure minimum cill heights to opening panes, that we have been required to make. These are generally very small adjustments and have been highlighted on the following pages as part of a Minor Material Amendment application.

In addition, some very minor areas of non-compliance with Part M4(2) of Building Regulations have been identified. Changes proposed in this document outline how they can be addressed.

Lastly, there are a few areas where acceptance has been sought and received from the Registered Building Inspector for a non-standard approach to Part M4(2) compliance.

1.2 Summary of Minor Material Amendment Changes

The below summarises to what extent the changes proposed as part of this Minor Material Amendment affect different aspects of the design.

Use - Commercial, residential and gym uses are unchanged

Amount - There is no change to gross internal or net internal areas

Layout - Locations of different uses, and where they are accessed from are unchanged. This document does however set out minor changes to layouts of refuse and cycle stores for practical reasons (no change in provision), and where amendments are proposed to the residential entrance to meet Part M4(2) of the building regulations.

Scale - Overall building height and width remains as per the consented planning scheme

Landscaping - The extent of the green roof is unchanged, but additional detail is now shown on the roof plan in response to the information that is required via the related planning condition, which has been submitted separately.

Appearance - External materials and finishes are unchanged from the consented planning drawings, and will be subject to discharge of the related planning conditions. Where unavoidable, some windows have been made opaque for example to allow privacy to otherwise fully glazed bathrooms, or to ensure fire stopping where they clash with partions or party walls. In order to meet building regulations, cill heights have been raised by a small amount.

Access - Vehicle and pedestrian access points are unchanged. Lifts, refuges, and level access are unchanged from the provisions set out in the consented scheme.

2.1 Part M4(2) - Introduction

The changes described on the following pages relate to the main residential entrance and common stairs. They also confirm the status of the scheme in relation to the planning condition ref. DV52A: Building Regulation Part M4(2)

For common residential stairs, Part M4(2) of the Building Regulations requires risers of maximum 170mm in height, and single flights of no more than 16 risers. We have added these half-landings to the new stairs on level 4 but have sought to keep risers throughout the building consistent with existing step heights of 185mm as this was considered - following consultation with the Registered Building Inspector - to be a more sensible and safer approach.

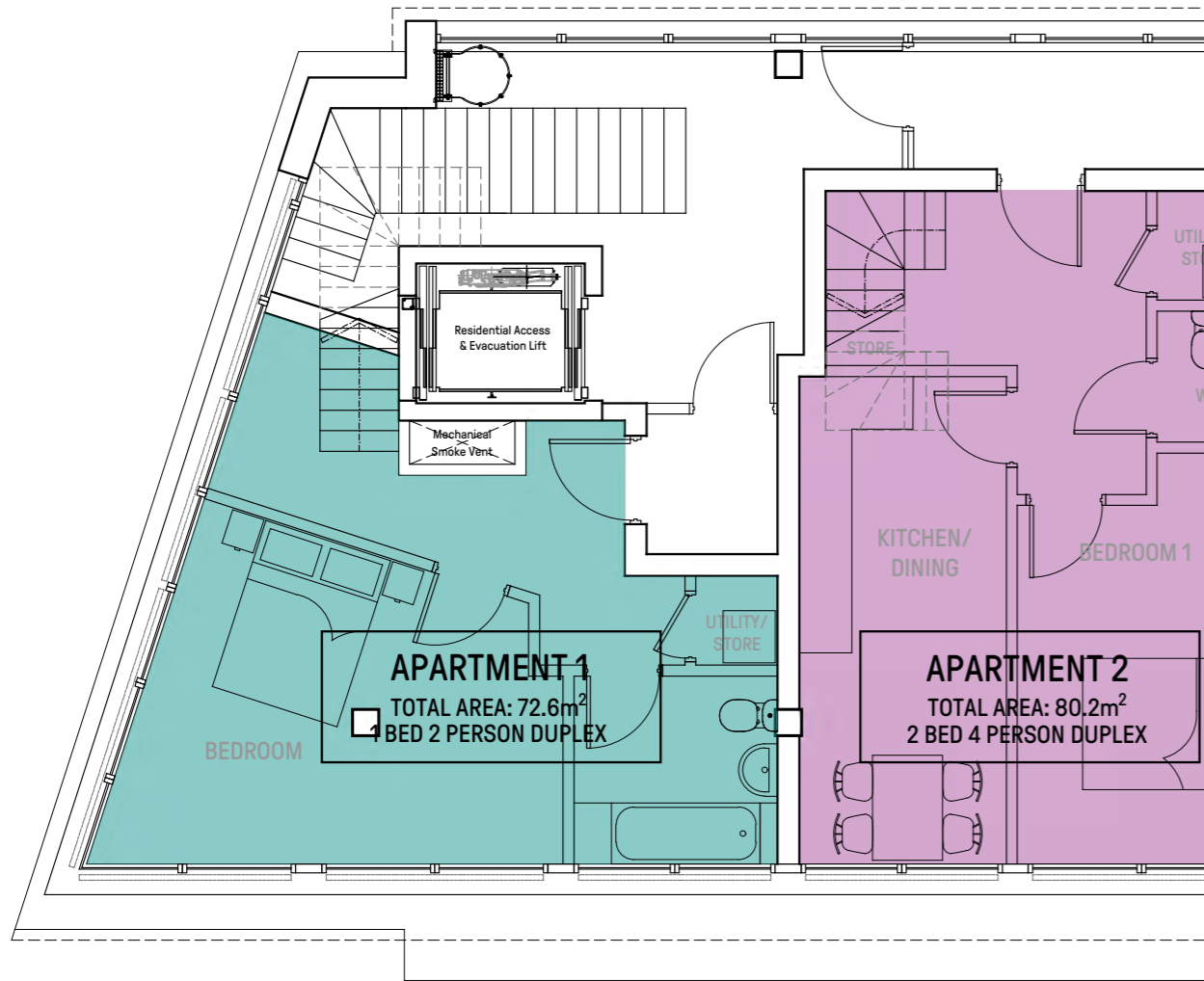
In reviewing pavement levels adjacent to the common entrance, and in line with the above approach to risers, we have had to add an additional step between the basement and ground floor, meaning there is less space to the main lobby. The requirement for a 900mm deep canopy and 1500mm turning circle - as well as an outward opening door - has meant some small amendments to this area as well. In proposing these changes, we have aimed to keep the design as close as possible to the original intent, and if anything aim to make the entry sequence more comfortable.

Our non-standard approach to Part M4(2) compliance relates to living spaces at entry level. Due to the constraints of the existing building, two apartments do not provide these, as has been previously highlighted within the planning submission. The compliance statement which includes our approach to this, and the acceptance email from the Registered Building Inspector can be found within the appendix.

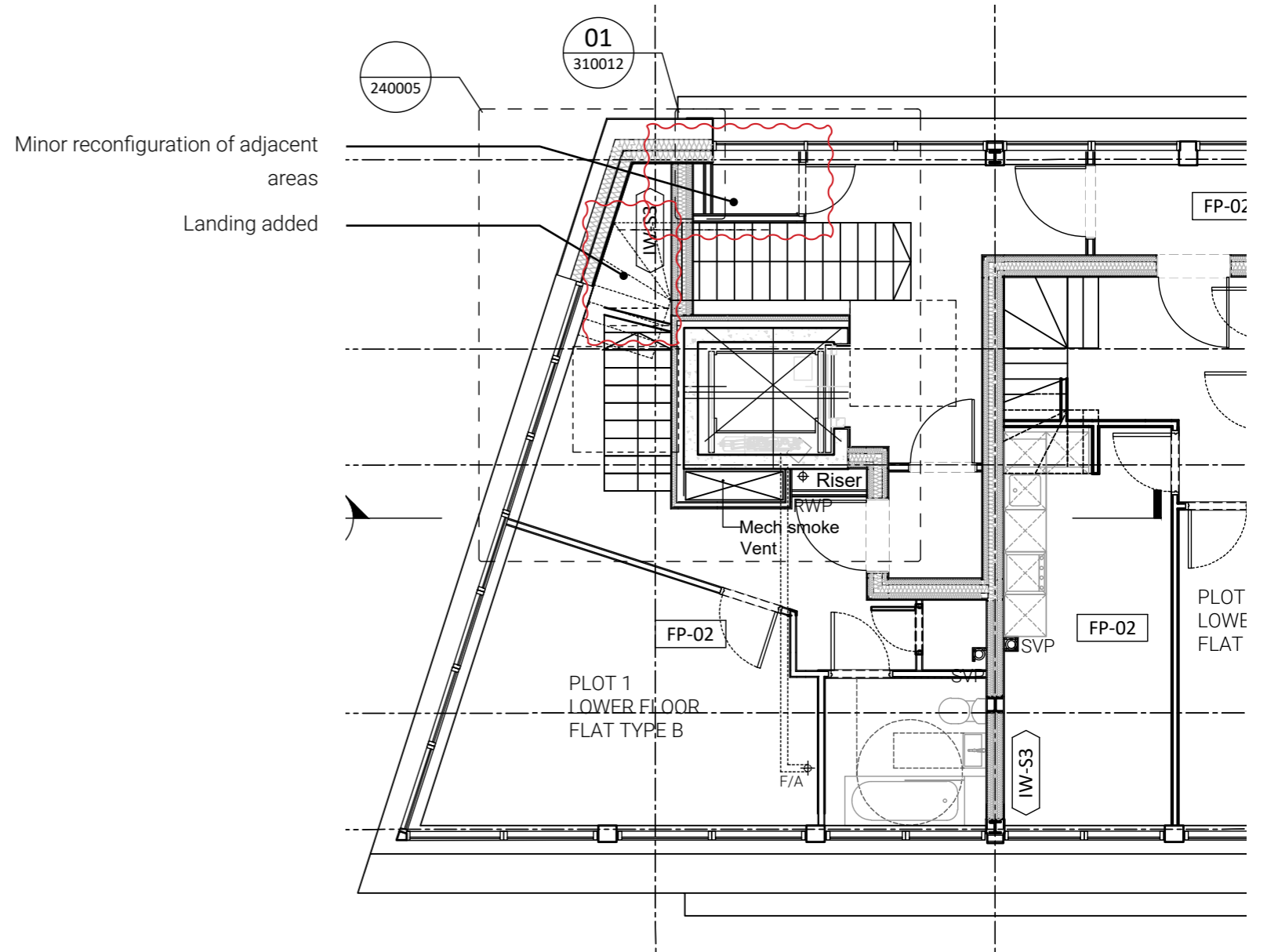
The above changes do not affect the size, quality or quantity of accommodation within the scheme.

2.2 Design Changes to Demonstrate Part M4(2) Compliance Common Stairs

Level 04 Plan - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0003 RevK

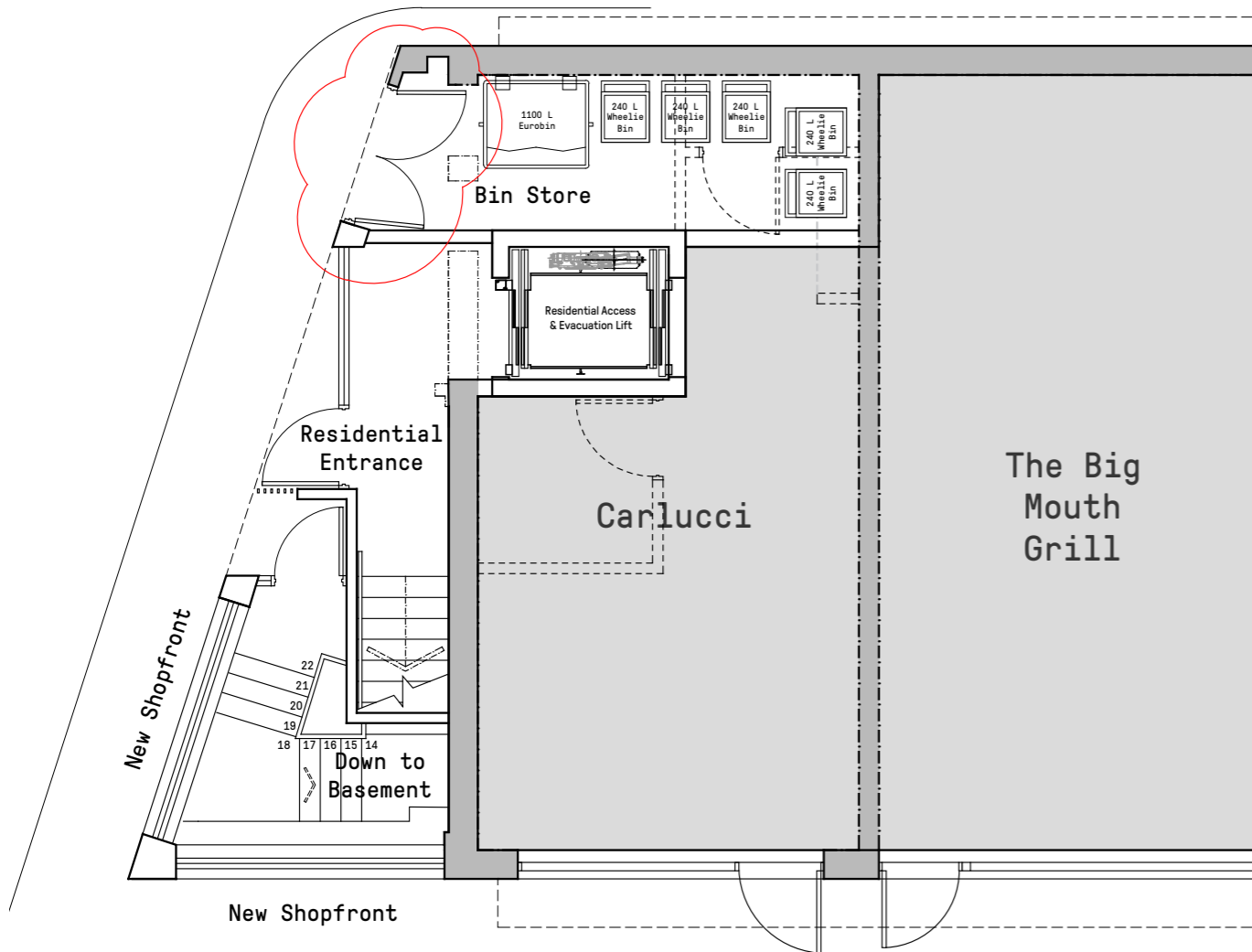


Level 04 Plan - Proposed
Changes highlighted

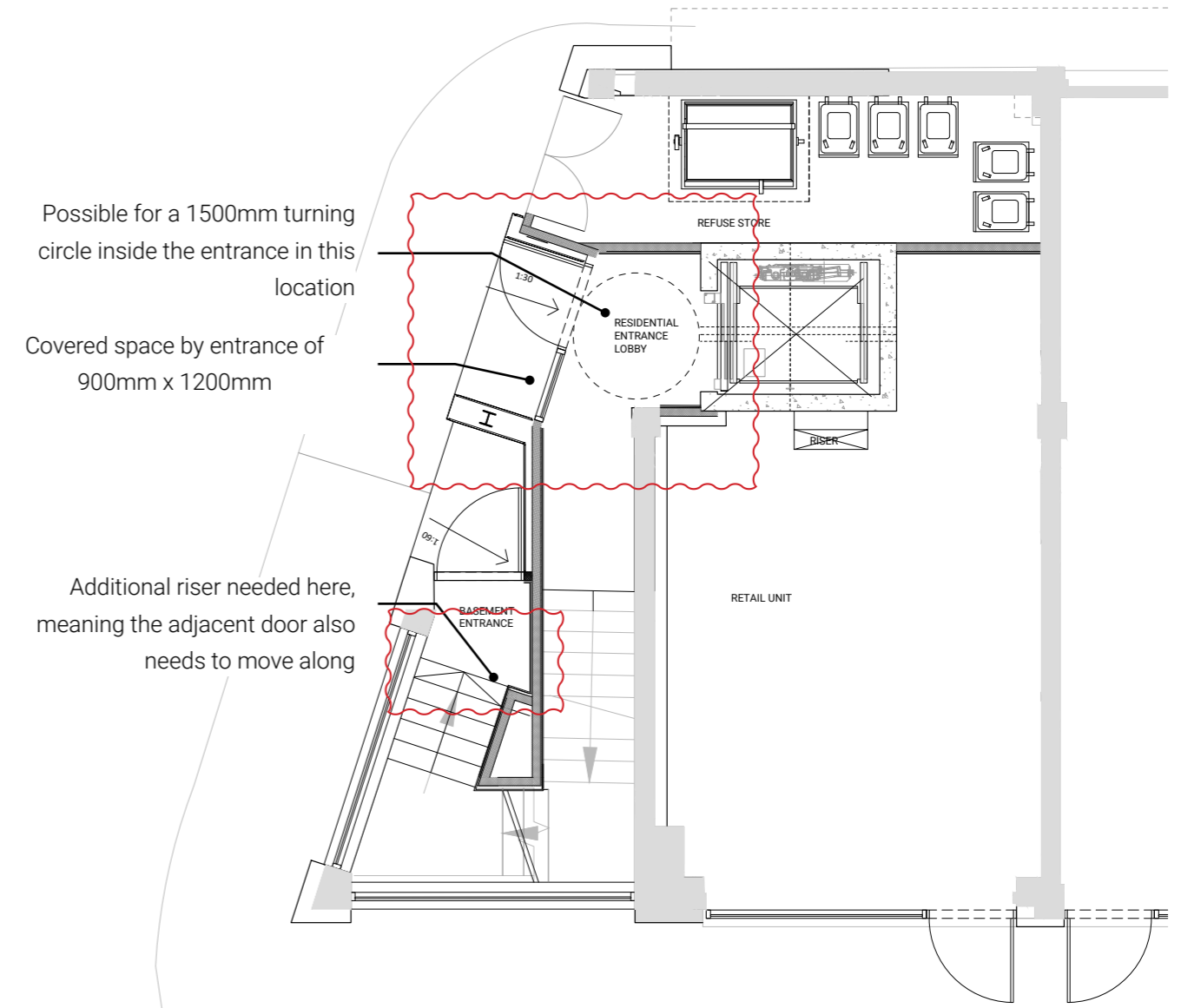


2.2 Design Changes to Demonstrate Part M4(2) Compliance Entrance

Level 00 Plan - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0001 Rev J



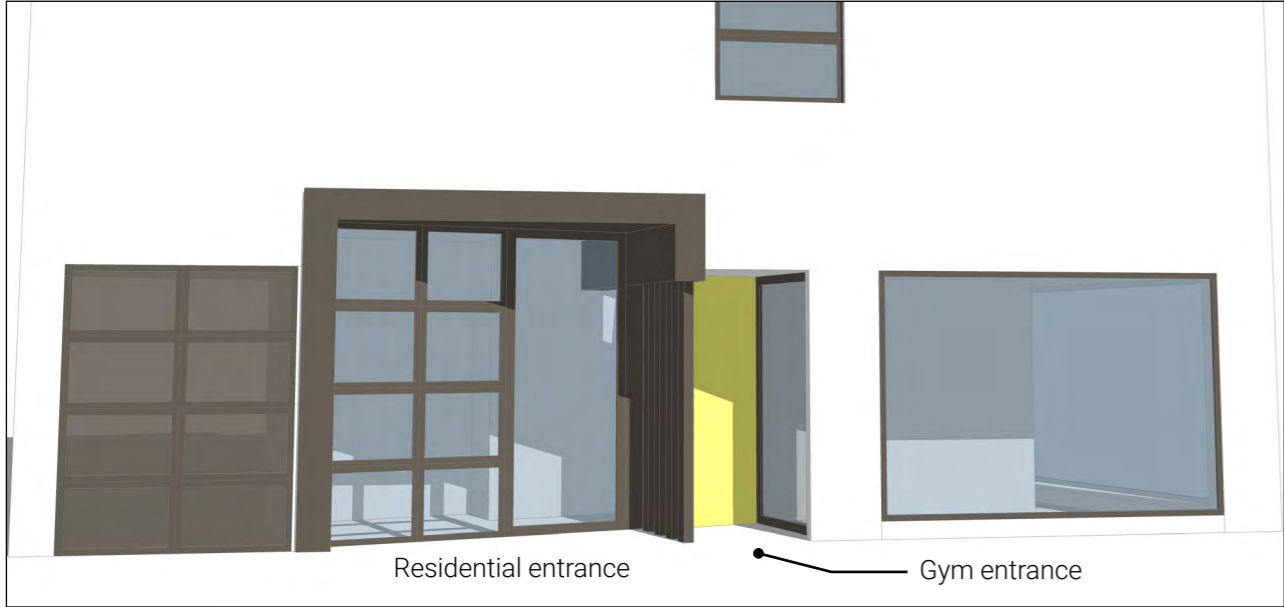
Level 00 Plan - Proposed
Changes noted



2.2 Design Changes to Demonstrate Part M4(2) Compliance

Entrance - Comparative View

View 01 - Consented Scheme



View 02 - Consented Scheme



View 01 - Proposed Scheme



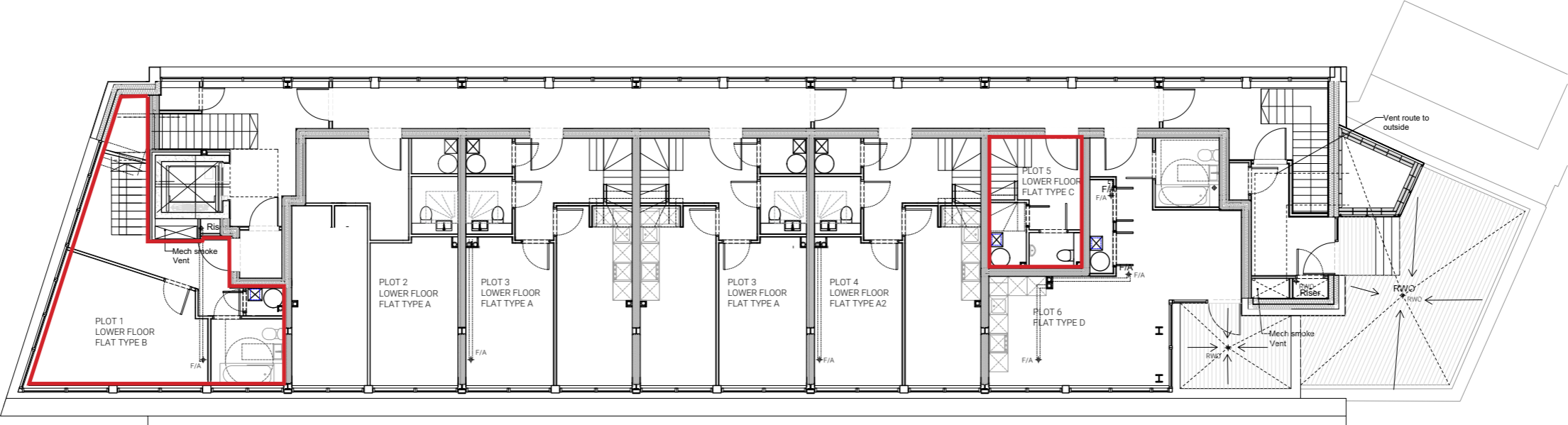
View 02 - Proposed Scheme



2.3 Areas of Non-Compliance With Part M4(2) Standards: Entry Level Living Spaces

Locations of the units not containing entry level living spaces are highlighted below:

Refer to the compliance statement in Appendix 4.4



2.3 Areas of Non-Compliance With Part M4(2) Standards: Entry Level Living Spaces

Part M4(2) Compliance Statement

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Westminster House

Building Regulations Compliance Statement

21/08/2024

Outline of Works

The project involves the re-clad and vertical extension of an existing four storey office building. The basement is to be extended down by approximately 600mm. The building will accommodate retail units on the ground floor (outside of the scope of works), offices on the 1st to 3rd floors, and residential units on the top two new floors.

Part/Section	Notes
M0	<p>There are two existing staircases which will be retained with some modifications to the stair from ground to basement to cater for the change in level. Two new stairs will serve the top two floors, extending the existing cores up.</p> <p>Existing, retained stairs contain risers at a consistent height of around 185mm, a little above the requirement of 170mm of a general access stair. Risers to new stairs will keep to this same riser height accordingly, so as not to not risk confusion by a change in step height. There are no flights with unbroken flights of more than 16 risers. Refer to 24Series stair drawings.</p>
M4(2)	<p>The common residential entrance can achieve an external landing of 1:30 maximum slope, and we propose via an NMA to introduce a 900x1200mm covered area and 1500mm turning circle directly adjacent to the entrance door (as shown in the Part M4(2) Compliance document dated August 2024.) This should show an overall improvement compared with the consented planning design, with minimal overall change.</p> <p>The main entrance door will be a power assisted door.</p> <p>There is step free access to the entrances of all dwellings via a wheelchair accessible lift that serves up to the fourth floor. Clear widths have been observed, with a pinch point close to the main entrance of 1050mm.</p> <p>All residential dwellings comply with the requirements of Part M4(2) in respect to circulation, sanitary provision, entrances, and stairs. Level access is provided to all terraces. Refer to Flat Type Drawings 059000-059009, with key, relevant dimensions highlighted in pale blue. Refer also to GA Plans 050004 and 050005.</p>

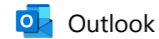
With respect to the requirement for all dwellings to contain a living space at entrance level, the scheme retains the same strategy as per the consented planning design. Five of the seven residential units contain a living space on the entrance level. One (Type B, Drawings 059003-4) contains a bedroom which could be used as a living space (there is also a bathroom at this level.) The other (Type C, Drawings 05905-6) is a one bed flat with only an access stair and sanitary provision on the lower floor, making it effectively an access stair only.

M4(3) Part M4(3) does not apply to any residential units.

2.3 Areas of Non-Compliance With Part M4(2) Standards: Entry Level Living Spaces Acceptance Email

27/09/2024, 11:15

RE: Westminster House - Part M Compliance - Arun Baybars - Outlook



RE: Westminster House - Part M Compliance

From Andrew Eggleton <Andrew.Eggleton@socotec.co.uk>

Date Tue 17/09/2024 08:12

To Arun Baybars <arun@architectsinpractice.com>

Cc Ali Khan <a.khan@londonhouse-richmond.co.uk>; Tim Williams <twilliams@firstplan.co.uk>; Charlie Wan <CWan@firstplan.co.uk>; Ashkan Liaghat <ALiaghat@firstplan.co.uk>; Ian Givin <ian@architectsinpractice.com>; chetan@ecppartnership.com <chetan@ecppartnership.com>

Hi Arun

I do not have an issue with the Part M compliance , it would meet the functional requirements of the regulations

Andrew Eggleton MRICS C.Build E MCABE

E-mail: andrew.eggleton@socotec.co.uk

Mobile No: 07894 483449

From: Arun Baybars <arun@architectsinpractice.com>

Sent: Wednesday, August 21, 2024 7:09 PM

To: Andrew Eggleton <Andrew.Eggleton@socotec.co.uk>

Cc: Ali Khan <a.khan@londonhouse-richmond.co.uk>; Tim Williams <twilliams@firstplan.co.uk>; Charlie Wan <CWan@firstplan.co.uk>; Ashkan Liaghat <ALiaghat@firstplan.co.uk>; Ian Givin <ian@architectsinpractice.com>; chetan@ecppartnership.com

Subject: Westminster House - Part M Compliance

Dear Andrew

As discussed previously, we would like to confirm that the current design of Westminster House is compliant in relation to Part M of the building regulations. I have attached a compliance statement for review. Could you let us know if this is all in order, or if there are any areas of concern?

I would also like to bring to your attention some minor changes to common residential entrance where - since our meeting - we have been able to make improvements in creating a covered, level landing, and bring a 1500mm turning circle to be adjacent to the entrance within the lobby.

These changes have been highlighted in the attached draft NMA document (we intend to make a planning submission on this basis) and I have included a set of relevant current plans and stair drawings for information.

Please feel free to call if you have any questions.

Kind regards

Arun

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1/2

27/09/2024, 11:15

RE: Westminster House - Part M Compliance - Arun Baybars - Outlook

Arun Baybars

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2.4 Part M4(2) Conclusion

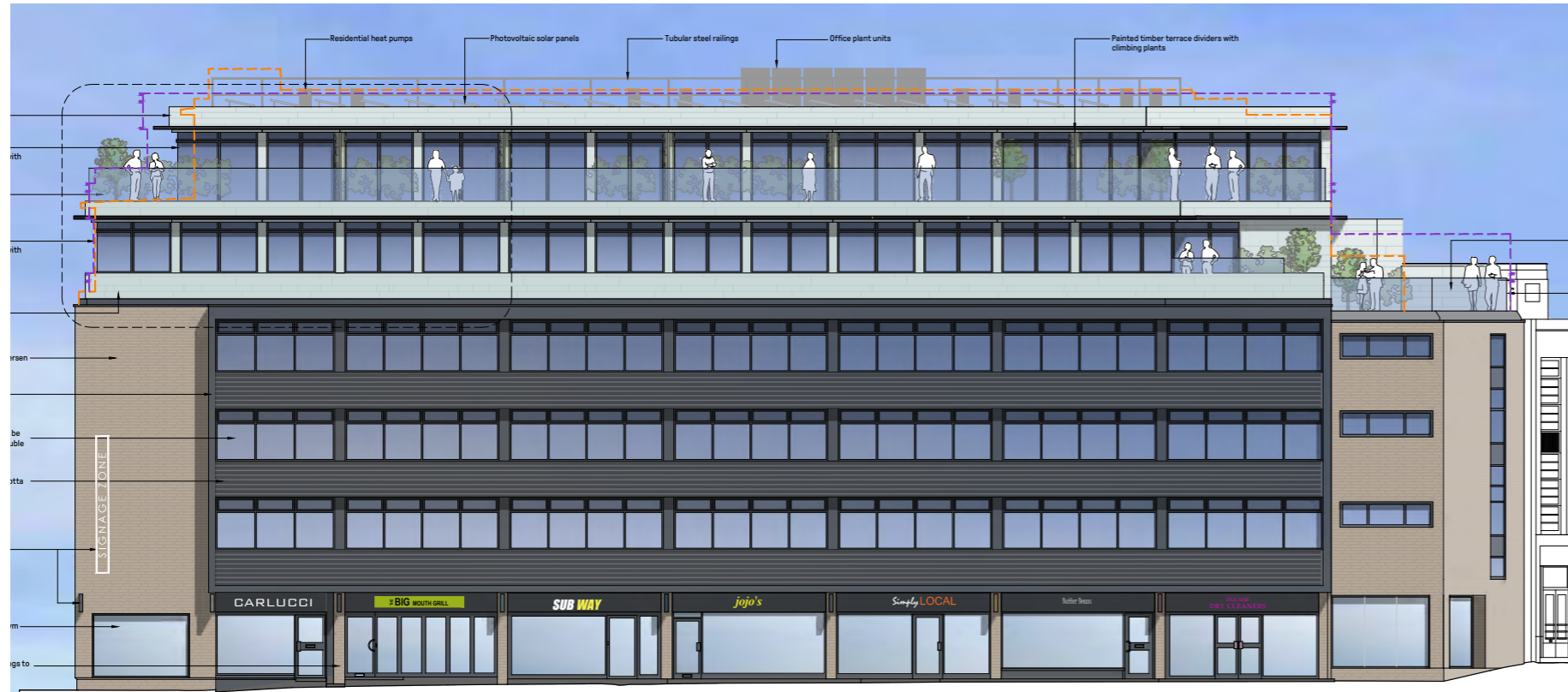
Through the changes described above, we have sought to achieve building regulations compliance by aligning as close as possible to the planning stage design. These amendments we feel do not adversely affect the quality of the proposed design or amount of either office or residential space, and as evidenced by the response from the Registered Building Inspector, would - if approved - be considered to meet statutory requirements.

3. Other Design Changes

The changes highlighted on the following pages are relatively minor and due solely to resolving Building Regulations issues, incorporation of a greater level of detail post-planning, and small clashes with elements of the existing building.

3.1 Minor Elevation Changes South Elevation Comparison

Approved Kew Road Elevation - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0004 RevH



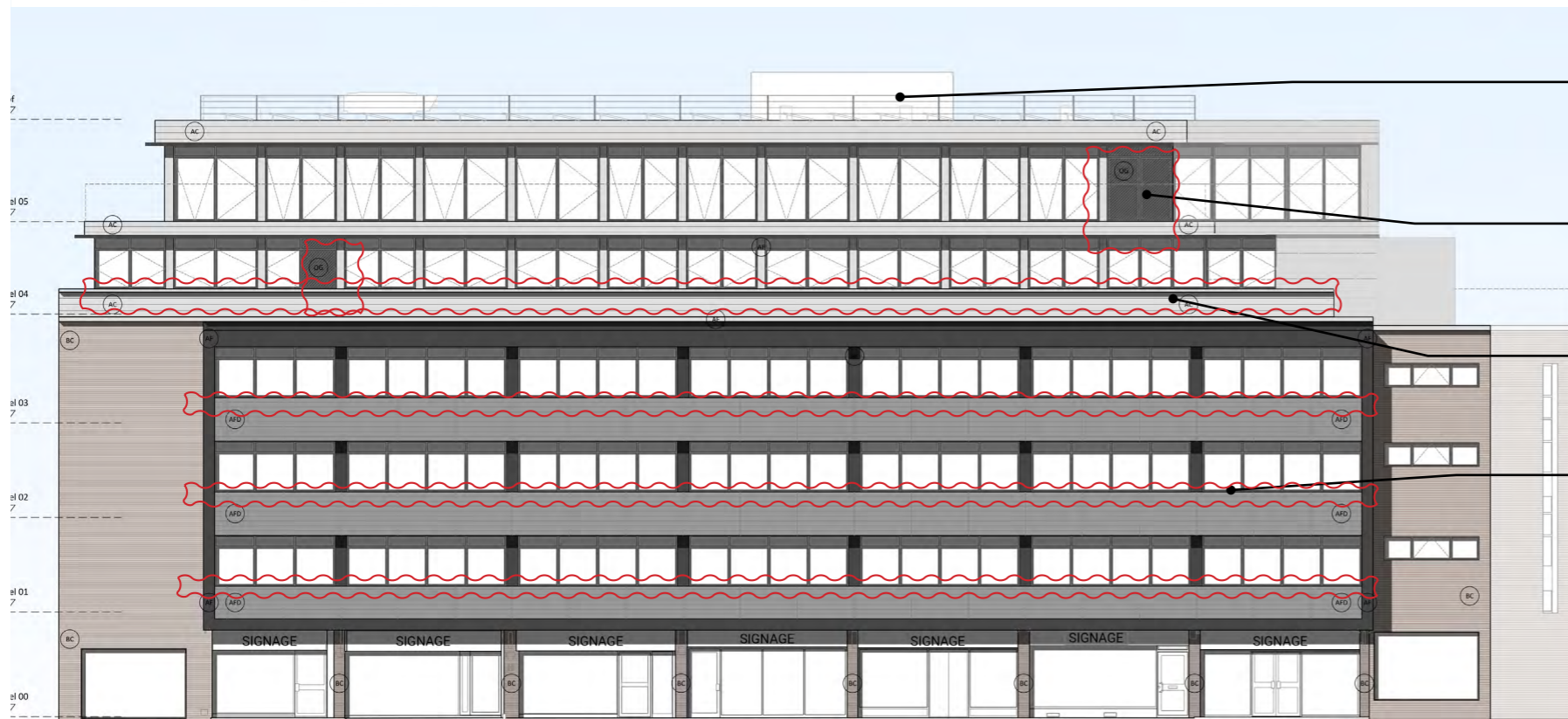
Kew Road Elevation - Proposed

Details on the rooftop design, plant equipment, materials, green roof, PVs and ecological enhancements to be secured via the discharge of [conditions BD12, U0182935, U0182956, U0182957, U0182958 and U0182941](#)

Bath and vanity unit located behind these two windows mean that they cannot be full height clear glazing - shown instead as opaque glazing. These will be largely hidden by the set back and balustrade.

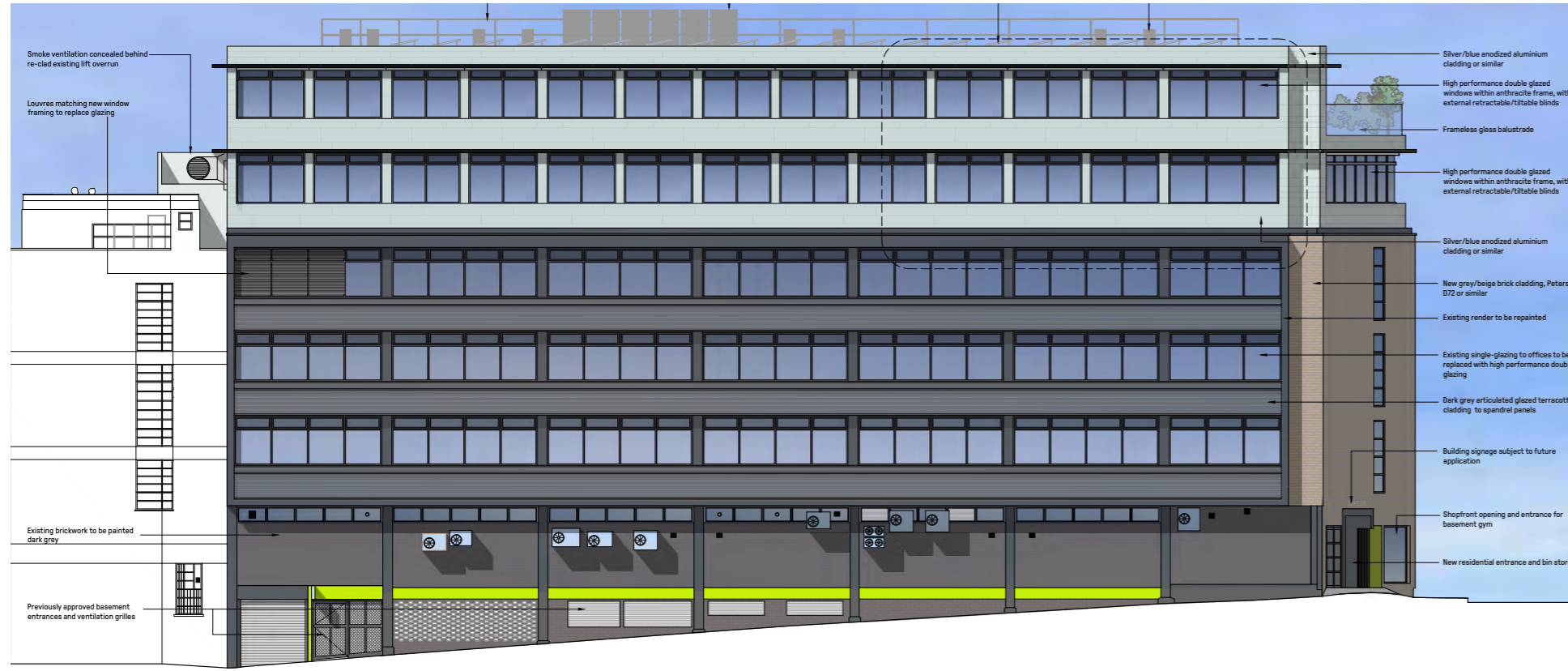
Cill height at level 04 raised so that opening sections (required to give purge ventilation to these residential flats) is at the minimum 800mm above finished floor level.

Small window cill height adjustment so that cills to offices start at 800mm to meet building regulations, and to avoid clashes between window heads and the existing floor beyond

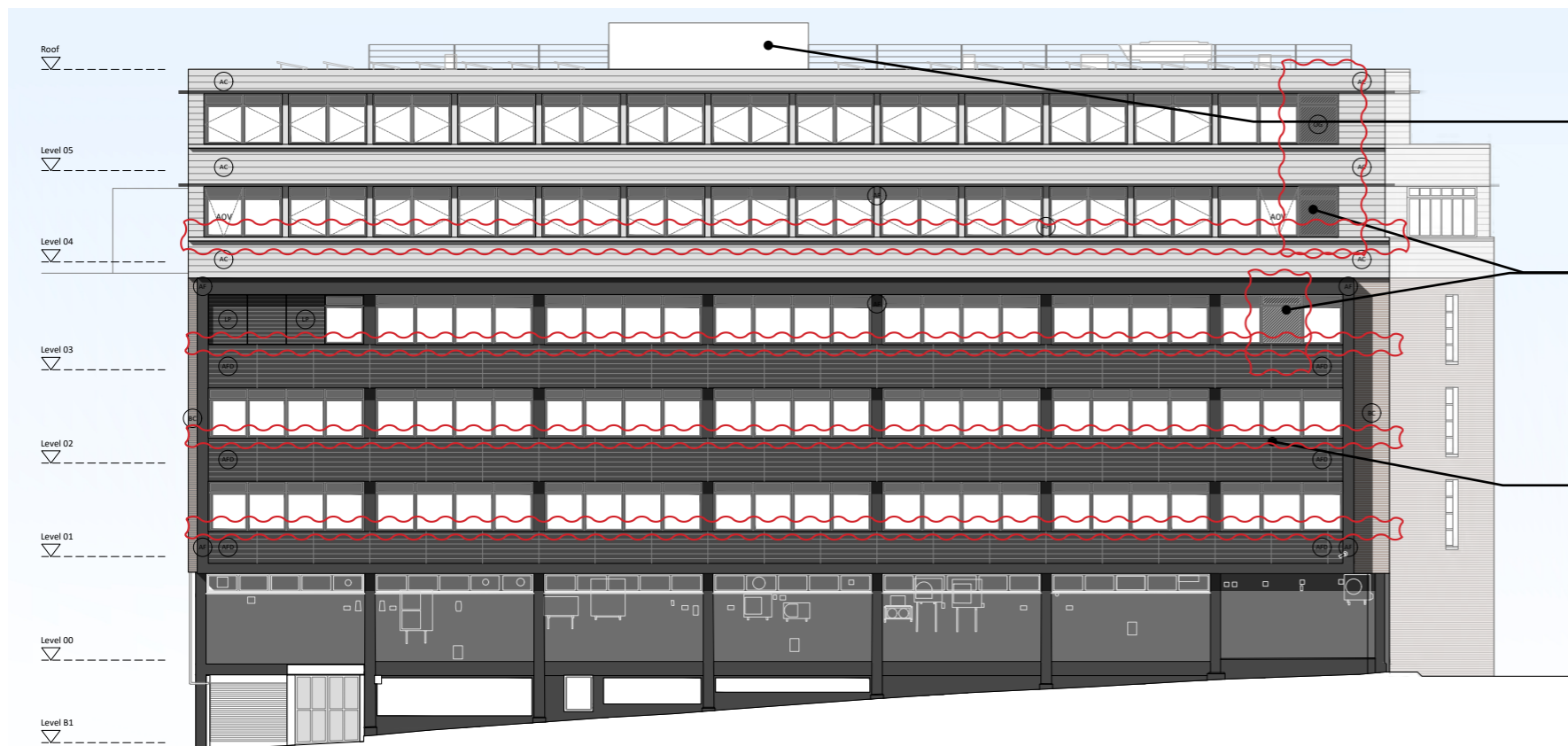


3.1 Minor Elevation Changes

Rear Elevation Comparison



Approved Rear Elevation - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0005 RevD



Rear Elevation - Proposed

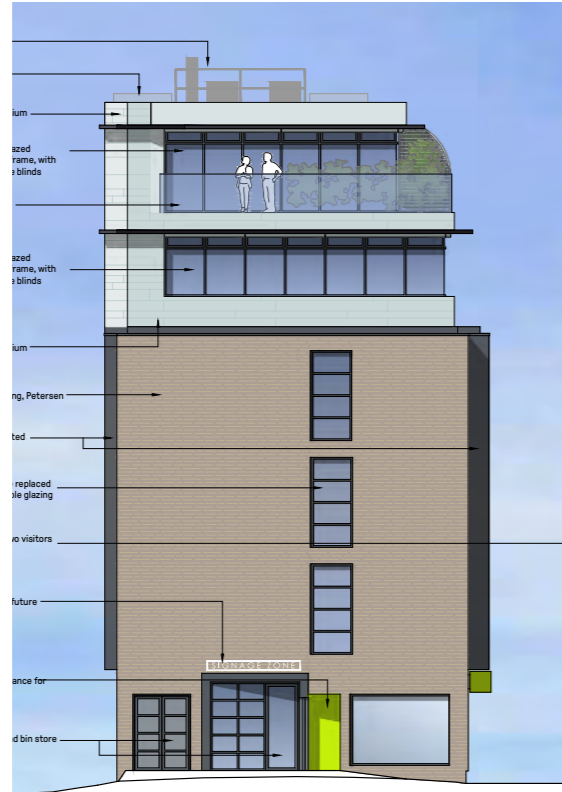
Details on the rooftop design, plant equipment, materials, green roof, PVs and ecological enhancements to be secured via the discharge of [conditions BD12, U0182935, U0182956, U0182957, U0182958 and U0182941](#)

There is a wall that sits directly behind these windows which also needs to be fire rated, meaning, it cannot just abut the frame. As a result, an opaque panel is needed to hide the fire resisting wall immediately behind.

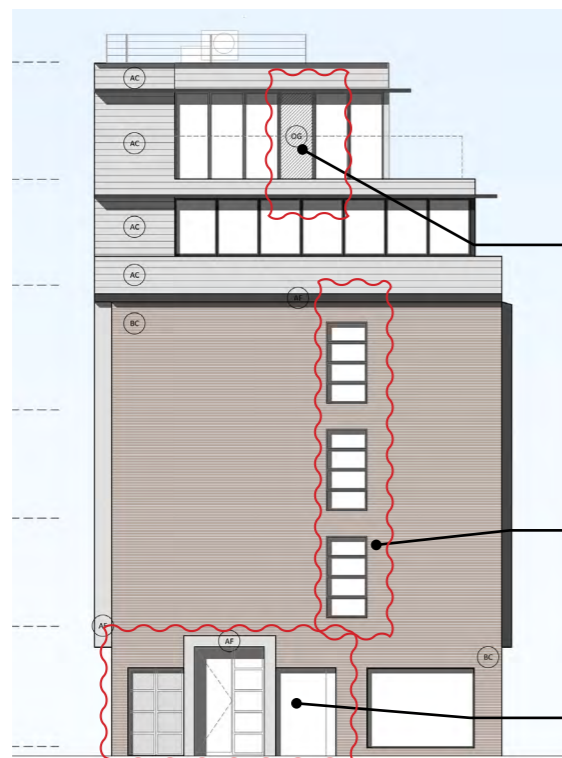
Small window cill height adjustment so that cills to offices start at 800mm to meet building regulations, and to avoid clashes between window heads and the existing floor beyond

3.1 Minor Elevation Changes

Rear Elevation Comparison



Approved North Elevation - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0004 RevG



Rear Elevation - Proposed

There is a wall that sits directly behind these windows which also needs to be fire rated, meaning, it cannot just abut the frame. As a result, an opaque panel is needed to hide the fire resisting wall immediately behind.

Window head heights reflect existing slab levels and build-ups

See pages 7 and 8 for changes to the residential entrance

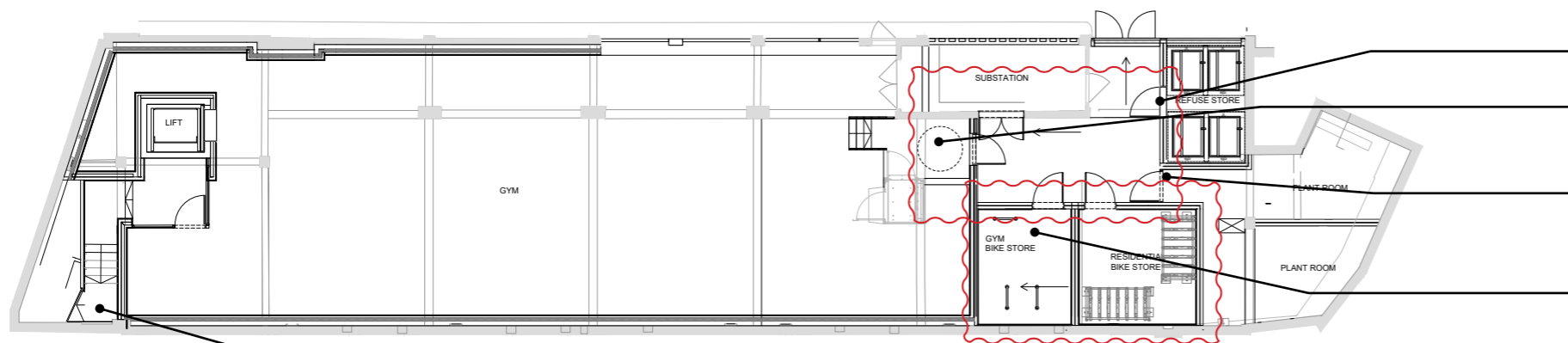
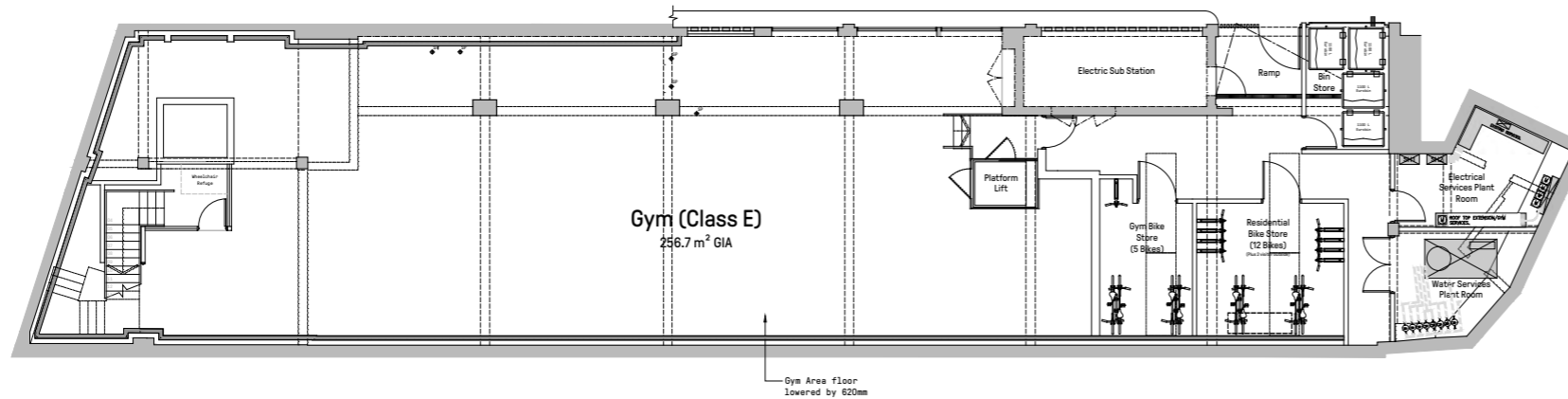
3.2 Minor Changes to Plans

The only changes to plans, in addition to those already detailed on the previous pages relating to Part M4(2) of the building regulations are in the basement where cycle and refuse stores have been re-arranged to function better (no loss of spaces) among other practical considerations and on the roof where some items of plant have shifted slightly.

3.2 Minor Changes to Plans

Basement Cycle Store and Refuse Store

Approved Basement Plan - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0001 RevJ



Basement Plan - Proposed

Door moved one meter so all bins can be accessed (refer to the submission for the [refuse store layout planning condition ref: U0182946](#))

More of a landing needed free of door swings for wheelchair users here

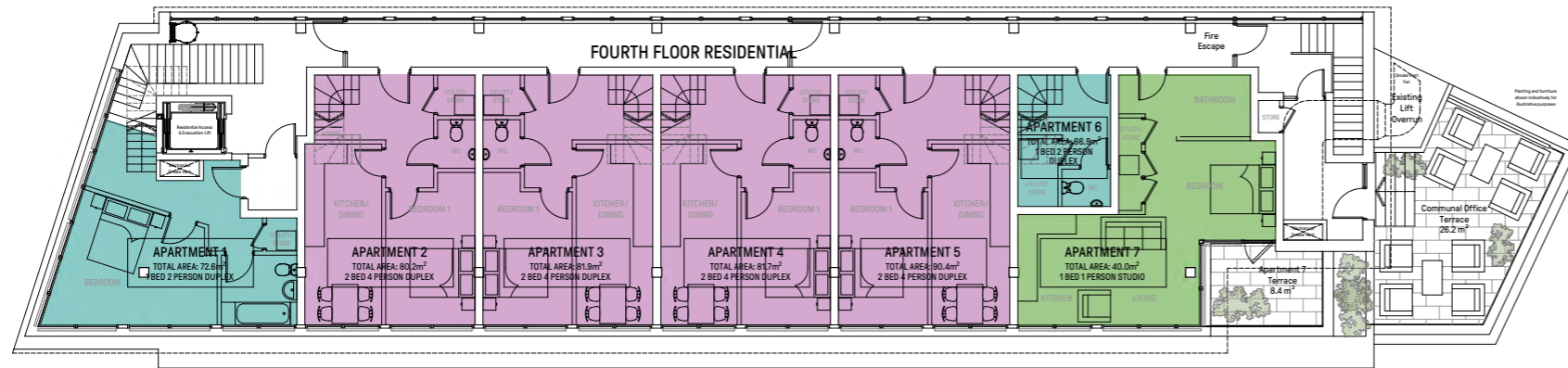
Plant room door moved as access corridor too narrow otherwise

The office cycle store on the left has been made slightly larger, and the residential store on the right, slightly smaller accordingly, as this allows the single space Sheffield stand to fit better in the space. The 'nook' in the corner has also been omitted which also helps give a little more space to access the substation. No change in number or type of cycle spaces provided. Refer to the submission for the [cycle parking condition ref: U0182947](#)

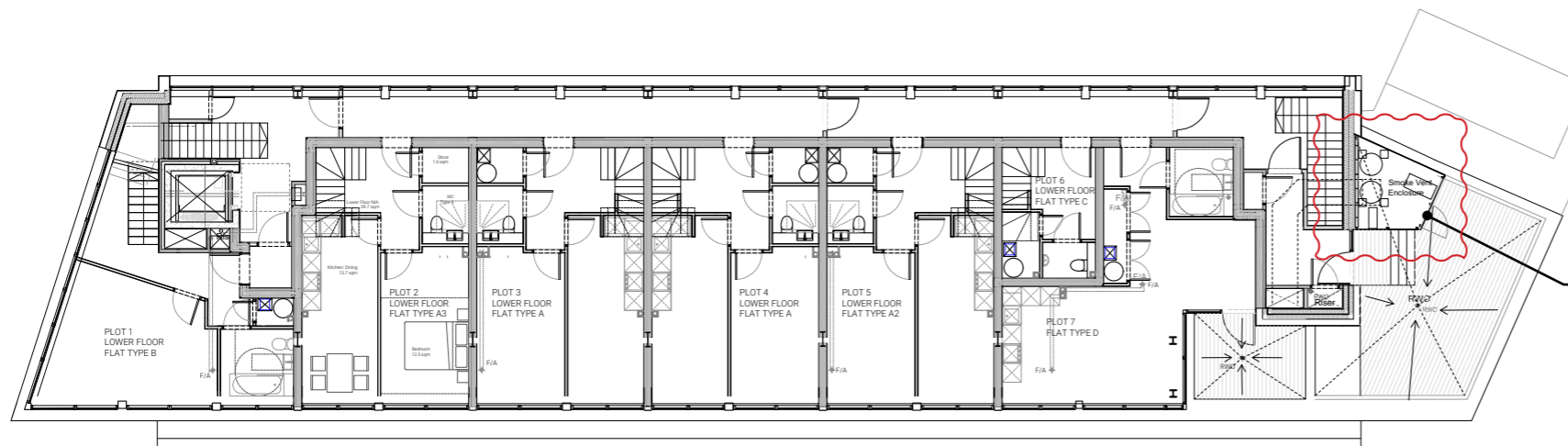
Minor changes to stairs to meet building regulations part K

3.2 Minor Changes to Plans
 Level 04 Office Plant Enclosure

Approved Basement Plan - Extract From Submitted Planning Drawing:
 P22-058_CGL-Z1-00-GA-A-PL0001 RevI



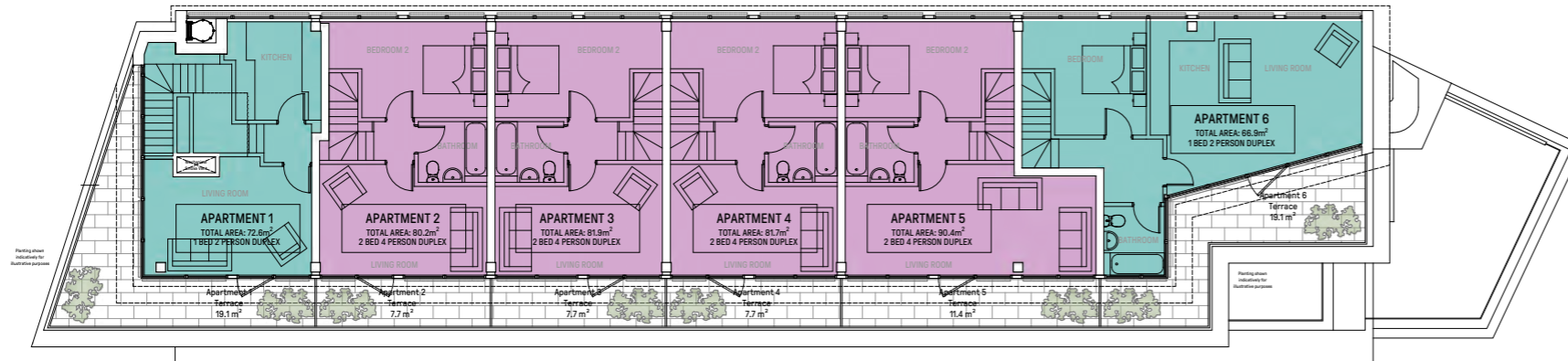
Level 04 Plan - Proposed



Plant enclosure enlarged to cater for manufacturer confirmed smoke vent dimensions and added noise attenuation. Plant to be secured via discharge of [planning condition U0182941](#). Materials and design details to be secured via the discharge of [planning conditions BD12 and U0182935](#)

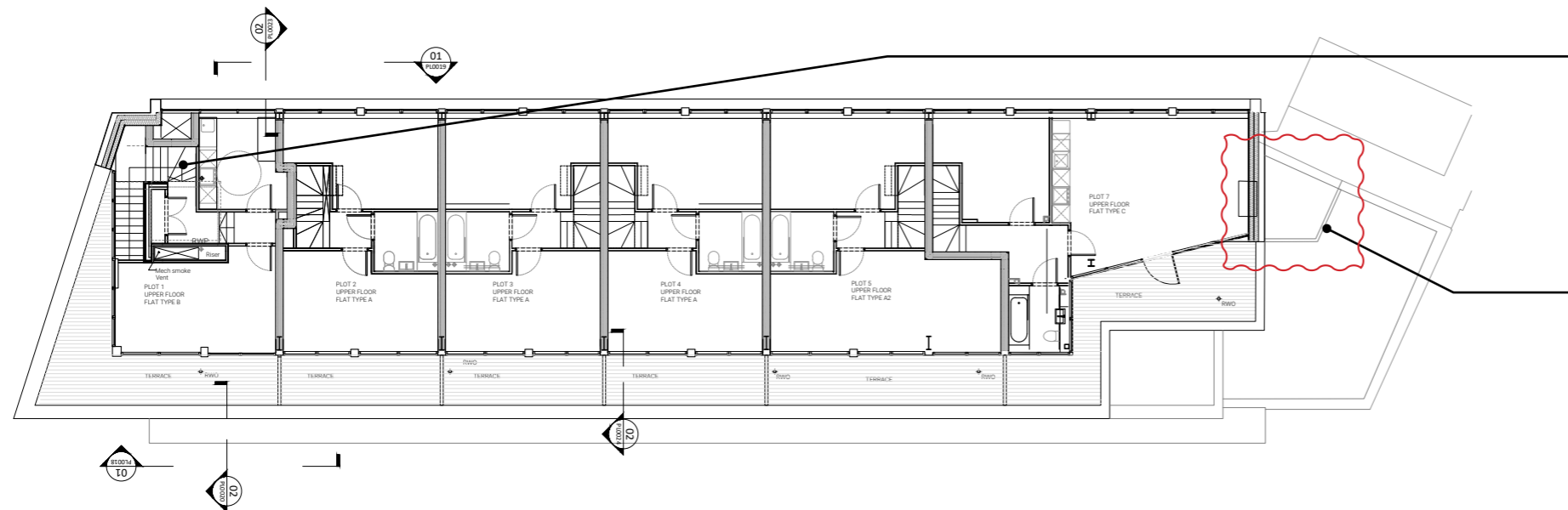
3.2 Minor Changes to Plans

Level 05 Minor Changes To Stairs



Approved Basement Plan - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0001 Rev1

Level 05 Plan - Proposed

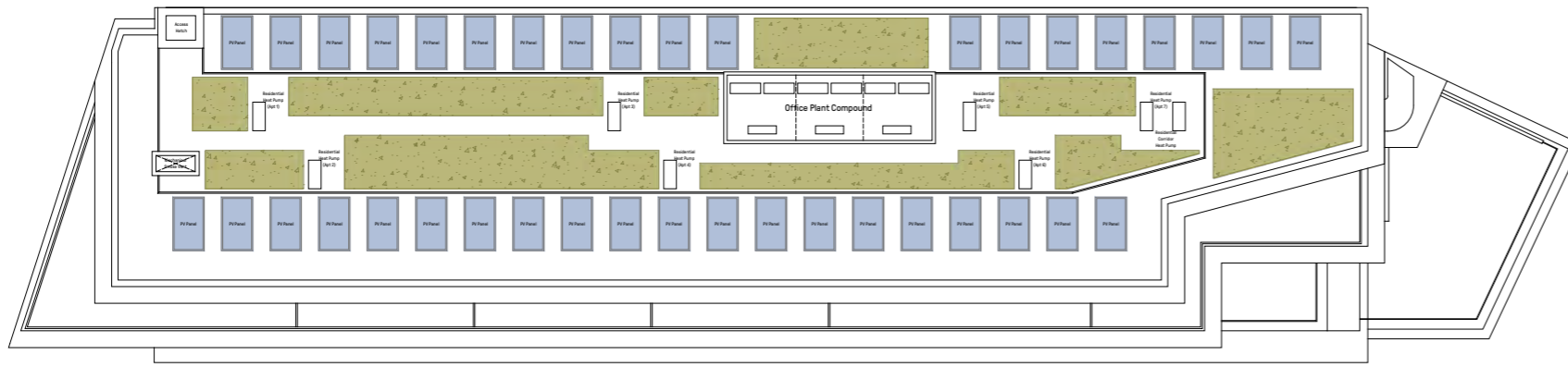


Risers to stair adjusted

Plant enclosure enlarged to cater for manufacturer confirmed smoke vent dimensions and added noise attenuation. Plant to be secured via discharge of [planning condition U0182941](#). Materials and design details to be secured via the discharge of [planning conditions BD12 and U0182935](#)

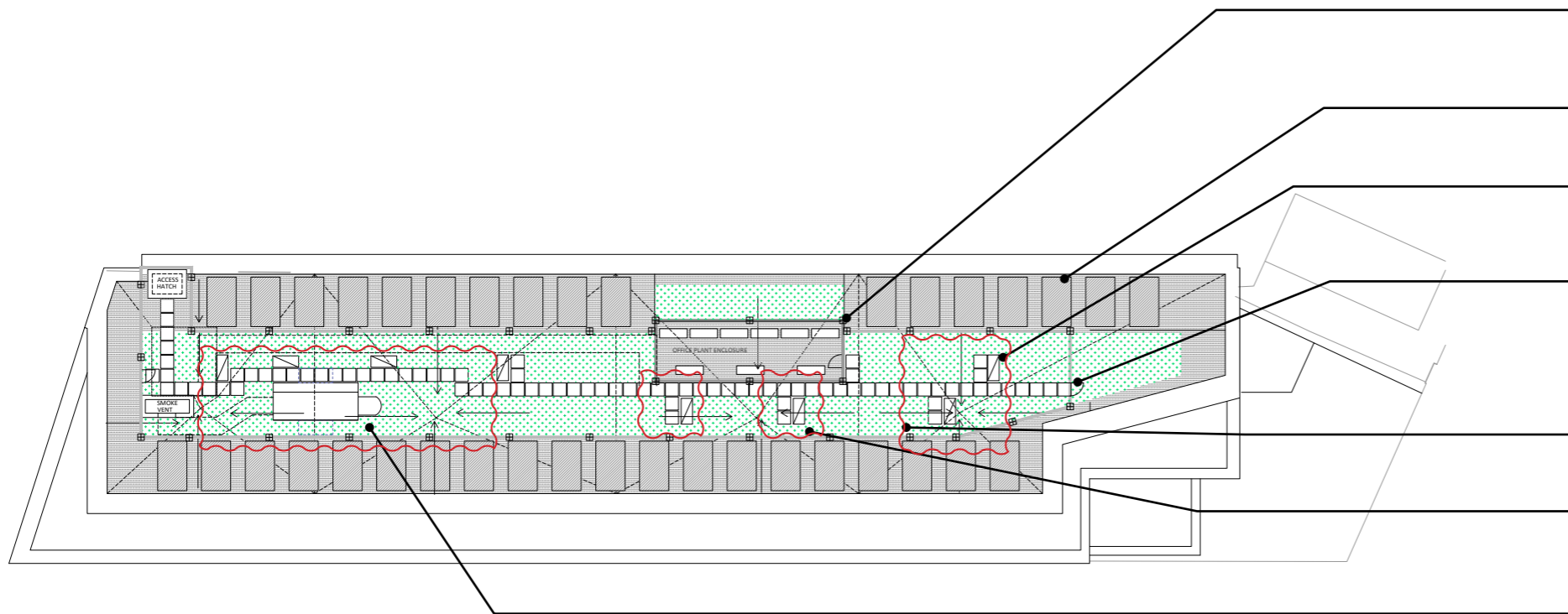
3.2 Minor Changes to Plans

Roof Plant Positions



Approved Roof Plan - Extract From Submitted Planning Drawing:
P22-058_CGL-Z1-00-GA-A-PL0003 RevK

Roof Plan - Proposed



Details on the detailed design and materials to be secured via the discharge of [conditions BD12 and U0182935](#)

Photovoltaic panel type and layout to be confirmed in the submission for the related [planning condition ref: U0182957](#)

Mechanical plant type and layout to be confirmed in the submission for the related [planning condition ref: U0182941](#)

Roof access path adjusted. Plant locations shifted slightly. No reduction in green roof area

Details on the ecological enhancements and the green roof to be secured via the discharge of [conditions U0182958 & U0182956](#)

Residential air source heat pump locations adjusted. To be secured via the discharge of [planning condition U0182941](#)

Mechanical smoke vent enlarged following input from manufacturer. To be secured via the discharge of [planning condition U0182941](#)