

- This drawing must be read in conjunction with all the relevant details for this project.
- All work is to comply with the current requirements of BS8000, the Building Regulations and allied legislation.
- All dimensions are to be checked on site prior to the commencement of work and any discrepancy is to be reported to the Construction Manager.
- All contractors / sub-contractors must ensure that they have the latest issue drawing and details before commencing work on site.
- Figured dimensions take preference over scaled drawings. Large scale drawings take preference over smaller scale drawings.
- All materials are to be used and installed in strict compliance with manufacturer's recommendations.
- All works on site managed and implemented as a result of the designs indicated on this drawing are to be given full consideration for compliance with the Health and Safety CD M Regulations 2015 in respect of Design and Implementation on site and no works are to be undertaken if it is considered that compliance with the CD M Regulations cannot be achieved.

This drawing must be read in conjunction with KHA construction notes on drawing no. 1607/300

M4(2) COMPLIANCE-PLANNING CONDITION (ACCESSIBLE & ADAPTABLE DWELLING)

PRINCIPLE ENTRANCE & LEVEL ACCESS

- FRONT DOOR: (PRINCIPLE ENTRANCE): 1200mm (LONG) x 1200mm (WIDE)
- REAR DOOR: (IF APPLICABLE): 1200mm (LONG) x WIDTH TO SUITE DOOR OPENING; UNOBSTRUCTED ENTRANCE PLATFORM, WITH LEVEL ACCESS THRESHOLD; MINIMUM 900mm WIDE & 600 DEEP CANOPY/ENTRANCE LANDING COVER

DOORWAY & HALLWAY WIDTHS

- MIN CLEAR OPENING WIDTH TO INTERNAL DOORS GENERALLY 775mm WITH 1050mm HALLWAYS UNLESS NOTED OTHERWISE
- 800mm MIN CLEAR OPENING WIDTH TO INTERNAL DOORS WHEN HALLWAYS LESS THAN 1050mm

STAIRS

PRIVATE STAIRS FROM ENTRANCE STOREY TO THE STOREY ABOVE (OR BELOW) HAS A MINIMUM OF 850mm CLEAR WHEN MEASURED 450mm ABOVE THE PITCH LINE.

HABITABLE ROOMS (LIVING/KITCHEN/EATING AREAS)

PRINCIPLE LIVING SPACE WINDOW GLAZING STARTS A MAXIMUM OF 850mm ABOVE FFL. THIS CONTROL/HANDLE TO BE INSTALLED BETWEEN 450 & 1200mm ABOVE FFL & ARE EASY TO OPEN.

SWITCHES, SOCKETS, VENTILATION & SERVICE CONTROLS TO BE BETWEEN 450mm & 1200mm FROM FFL AND A MINIMUM OF 300mm FROM AN INSIDE CORNER. CONSUMER UNITS ARE MOUNTED SO THAT SWITCHES ARE 1350-1450mm ABOVE FFL.

BOILER CONTROL TO BE 900-1200 ABOVE FFL.

BEDROOMS

- MINIMUM 750mm WIDE ACCESS FROM THE DOORWAY TO THE WINDOW. PRINCIPLE BEDROOM TO HAVE MINIMUM 750mm WIDE ACCESS TO BOTH SIDES AND FOOT OF BED. OTHER DOUBLE BEDROOMS TO HAVE MINIMUM 750mm ACCESS TO ONE AND FOOT OF BED. SINGLE BEDROOMS TO HAVE MINIMUM 750mm ACCESS TO ONE SIDE OF BED.
- FURNITURE SIZE TO BE COMPLIANCE OF: PRINCIPLE DOUBLE BEDROOM, KING SIZE BED - 2000x1500; OTHER DOUBLE, STANDARD DOUBLE BED - 1900x1350; SINGLE BEDROOM, SINGLE BED - 1900x900

SANITARY FACILITIES (WC & BATHROOM)

EVERY DWELLING HAS A ROOM, WITHIN THE ENTRANCE STOREY THAT PROVIDES A WC AND WASH BASIN.

WC AND BATHROOM WALLS TO BE CAPABLE OF TAKING ADAPTIONS TO SUPPORT A IMPOSED LOAD UP TO 1.5kN/m².

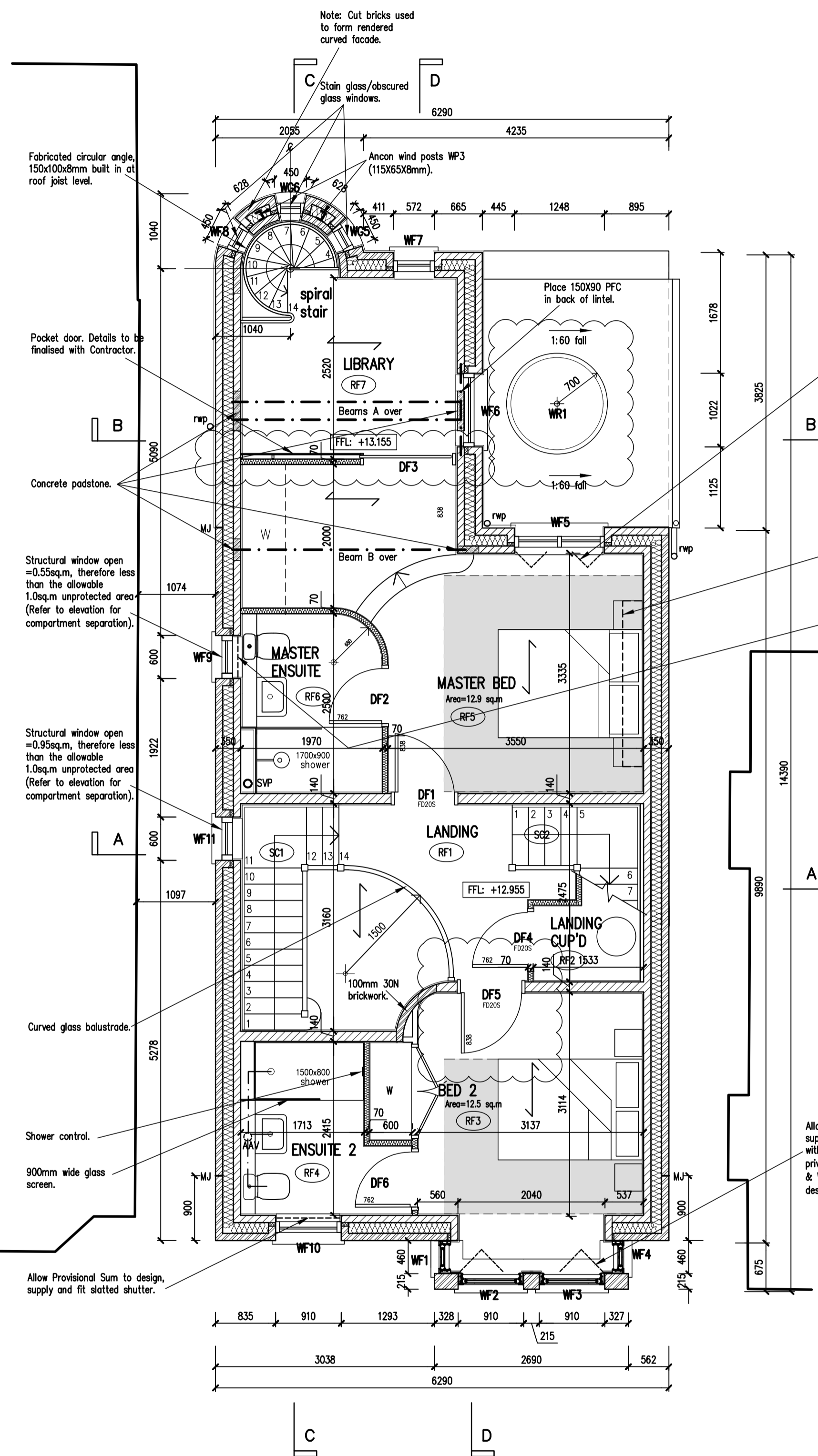
FUTURE SHOWER 1000mm x 1000mm UNOBSTRUCTED ACTIVITY SPACE 3 BED AND ABOVE.

ACTIVITY ZONE 700x1100

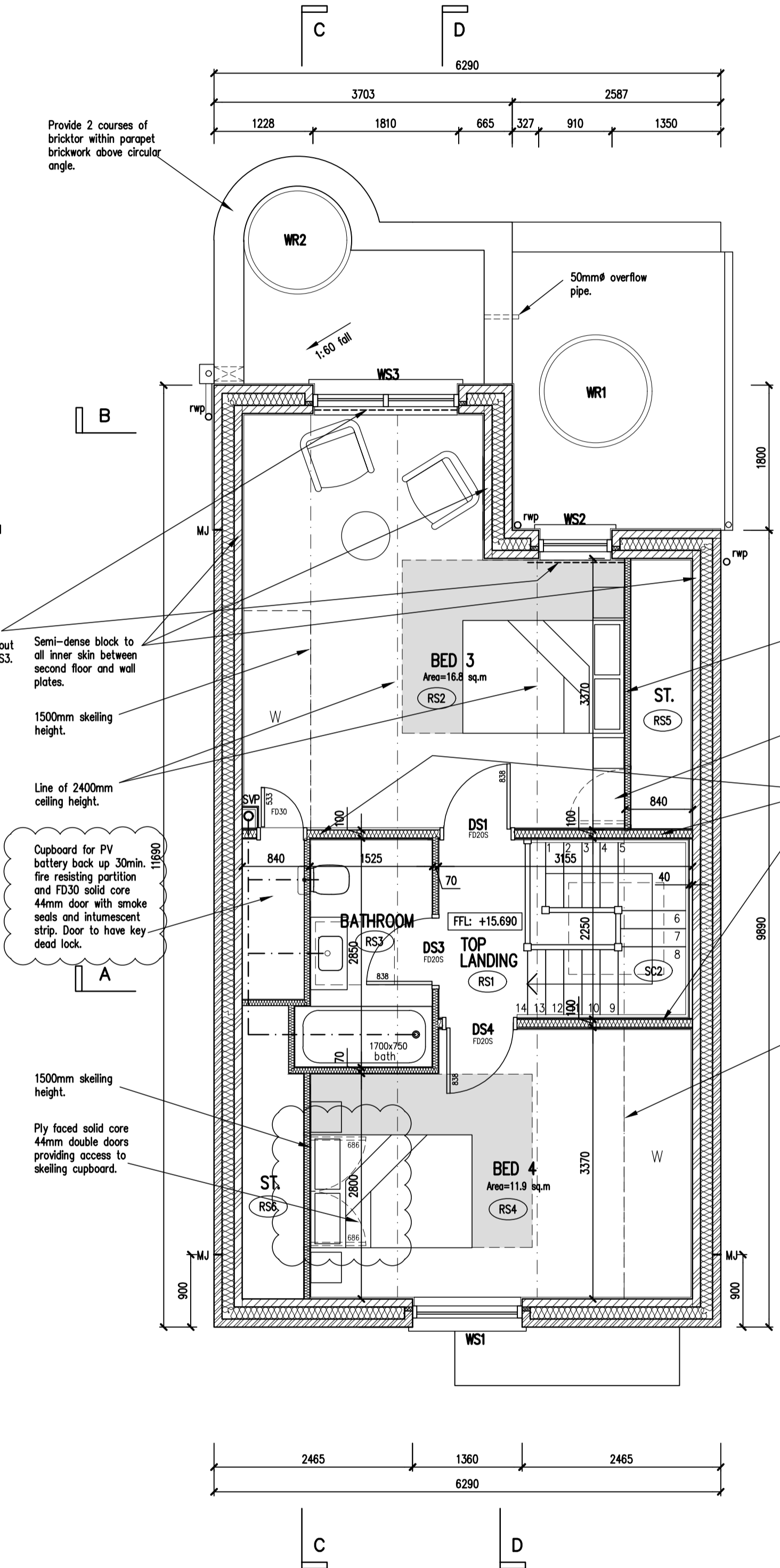
1100mm x 700mm OF SANITARY FITTING UNOBSTRUCTED MANEUVERING SPACE FOR BATH & WASH HAND BASIN.

WC (3 BED AND ABOVE)/MAIN BATHROOM ACCESS ZONE. POSITION OF BASIN EXAMPLE VARIES (REFER TO AD.M4(2) DIAGRAM 2.5 & 2.7A)

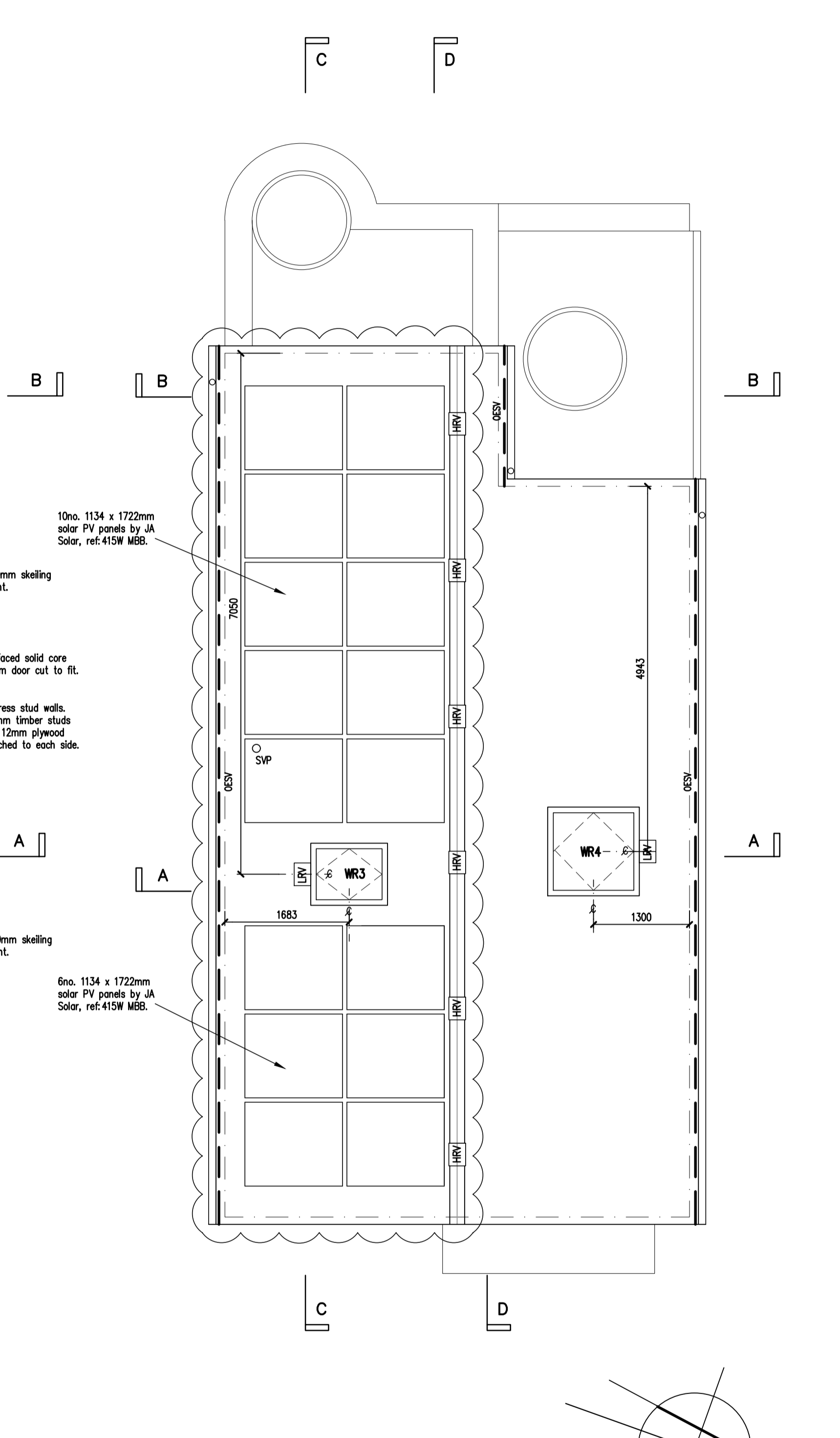
MAXIMUM ENCROACHMENT FOR HAND RINSE = 200mm
MAXIMUM ENCROACHMENT FOR HAND WASH = 300mm



FIRST FLOOR PLAN

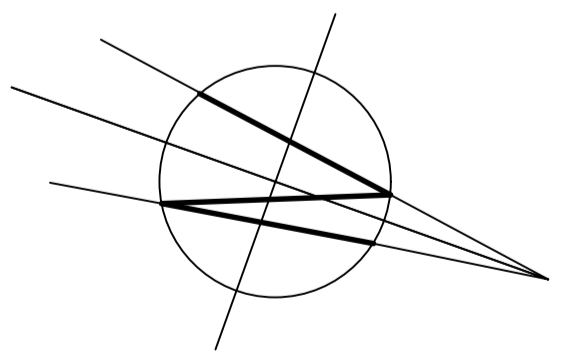


SECOND FLOOR PLAN



ROOF PLAN

- HRV** Denotes high level roof tile vent for roof void cross ventilation at mono pitches etc, roofing contractor to obtain and follow specification regarding number required and location from roof tile manufacturer (1.2m centres approx)
- LRV** Denotes low level roof tile vent for roof void cross ventilation at mono pitches etc, roofing contractor to obtain and follow specification regarding number required and location from roof tile manufacturer (0.6m centres approx)
- OESV** Denotes proprietary over eaves continuous ventilation strip at base of tiles to eaves, for roof void cross ventilation, roofing contractor to obtain and follow specification from vent supplier and roof tile supplier.



Rev.F: 23.12.24. PV amended. Battery back up cupboard added.
 DF3 amended to pocket door. Bedroom 4 skirting cupboard doors amended. WR1 increased from 1340mm to 1400mm.
 Rev.E: 10.6.24. Ensuite and bathroom amended.
 Rev.D: 1.12.22. Client amendments.
 Rev.C: 21.9.22. AAV amended to SVP. W67 renumbered/relocated
 Rev.B: 2.8.22. Client amendments.
 Rev.A: 30.8.22. Client amendments.

Revisions:

Project: **HOUSE DEVELOPMENT**
36 LANGHAM ROAD
TEDDINGTON

Client: **MR U KURTARAN & MS F KELLY**

Title: **1ST, 2ND FLOOR & ROOF PLANS**

Drawn: **RK** Date: **May 22** Cad file: **1607/dwg5**

Scale: **1:50@A1** Drawing No: **1607/302** Revision: **F**