



LOCKSLEY
ARCHITECTS

CONTENTS

1.0 INTRODUCTION

2.0 SITE ANALYSIS

2.1 London Borough of Richmond Upon Thames

2.2 Site Location

3.0 THE PROPOSALS

3.1 Photographs of the Existing Property

3.2 Description of the Development

4.0 CONCLUSION

INTRODUCTION

This design and access statement has been prepared in support of a Planning Application for the “Rear and side extension and roof extension with new brick and stone cladding” at 23 Melbourne Road, Teddington TW11 9QX. This planning application has been prepared on behalf of the property owners. This Design and Access Statement should be read in conjunction with the other documents and drawings submitted as part of the Application.

This statement will evaluate the proposed development against the design principles and concepts of the London Borough of Richmond upon Thames and aims to demonstrate that every aspect of the proposed development takes into consideration the immediate and wider context.

This document will demonstrate that:

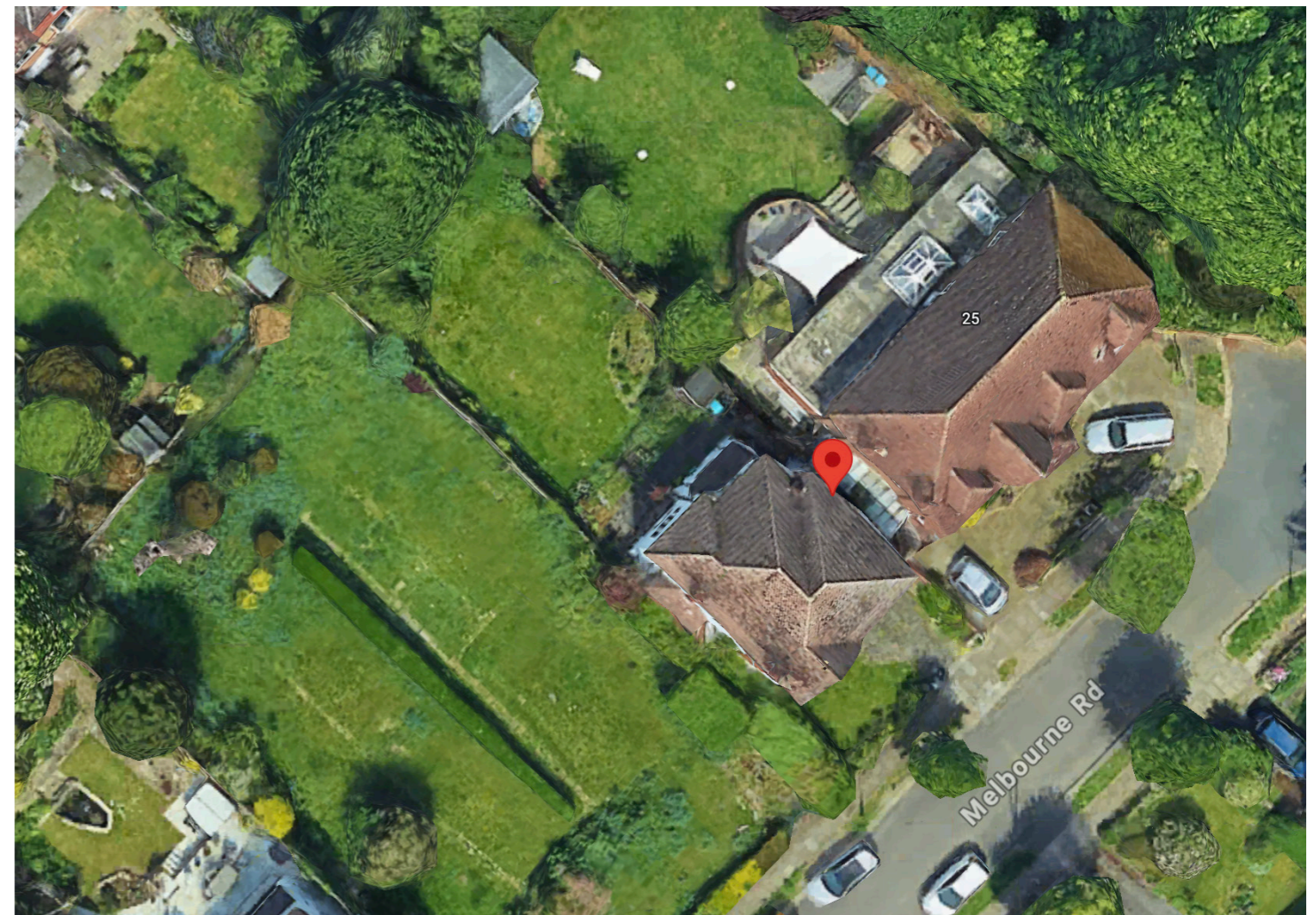
- The proposal would not negatively impact neighbouring amenity and would constitute high quality design
- The proposal aims to improve the quality of the host dwelling and surrounding area.
- The proposal will improve the quality of life of all current and future occupants.
- The proposal does aligns with the guidance set out by the “Hampton Wick Conservation Area 18” appraisal and follows the pre-published residential design guidance of the borough.

In determining the scheme, the following plans and drawings should be considered:

E01 – Existing Plans	1:100 @ A3
E02 - Existing Plans	1:100 @ A3
E03 – Existing Front Elevations	1:100 @ A3

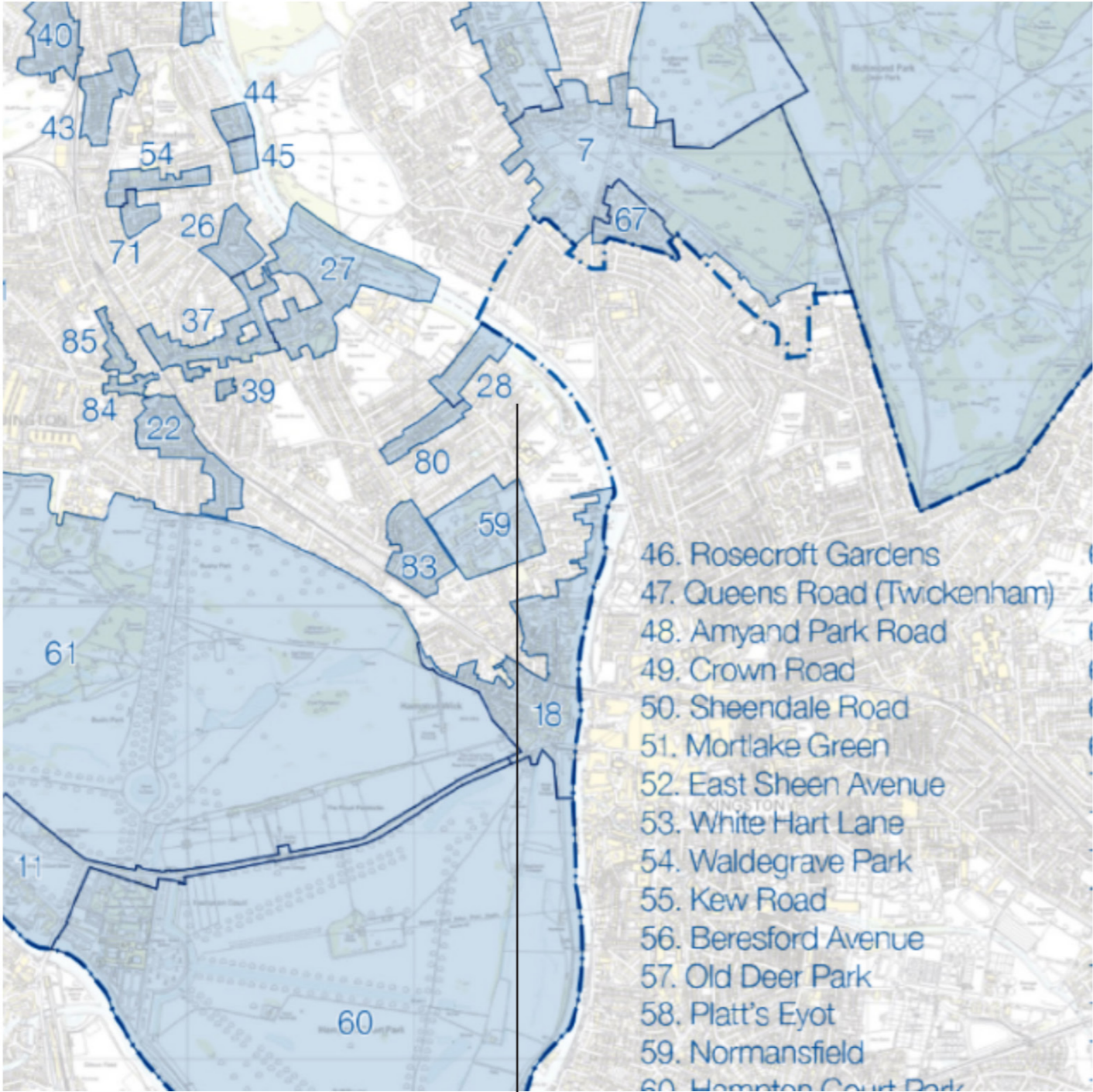
P01 - Proposed Plans	1:100 @ A3
P02 - Proposed Plans	1:100 @ A3
P03 - Proposed Elevations	1:100 @ A3
P04 - Outbuilding Drawings	1:100 @ A3

This Design and Access Statement addresses the design principles and concepts that have been applied to the development in respect of the location, layout, scale, and appearance in relation to the site’s context and conservation area guidelines.



RICHMOND COUNCIL CONSERVATION AREA MAP

Richmond upon Thames London Borough Conservation Areas



23 Melbourne Road

PHOTOGRAPHS OF THE EXISTING PROPERTY



Front Elevation



Rear Elevation

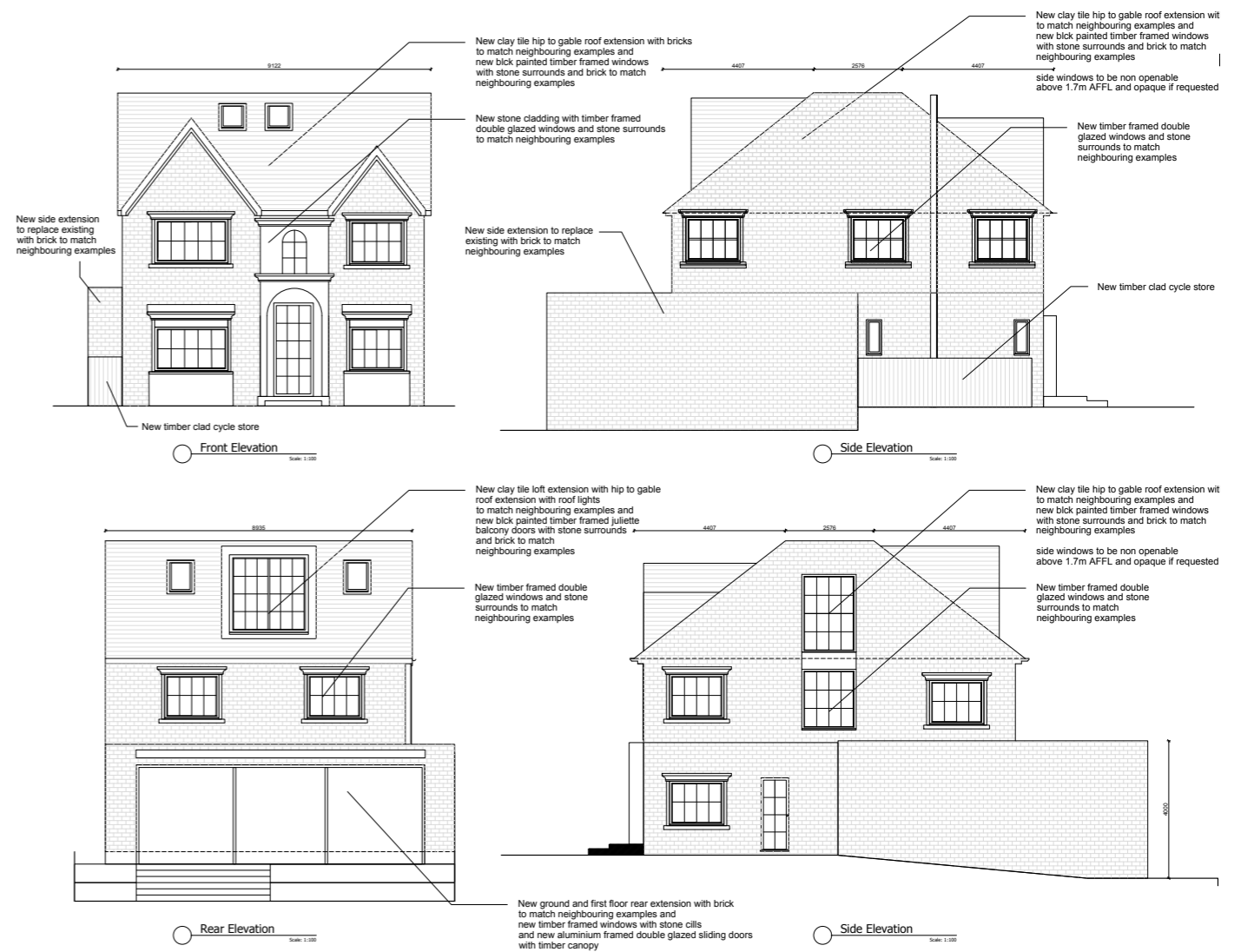
DESCRIPTION OF THE DEVELOPMENT

The application site is not within a conservation area. Melbourne Road is a quiet 19th century residential street with a mix of building styles united by a common use of materials and an intimate scale of detached properties set behind continuous front gardens and boundaries. The proposed development is detached two storey house that is located at the eastern end of the street.

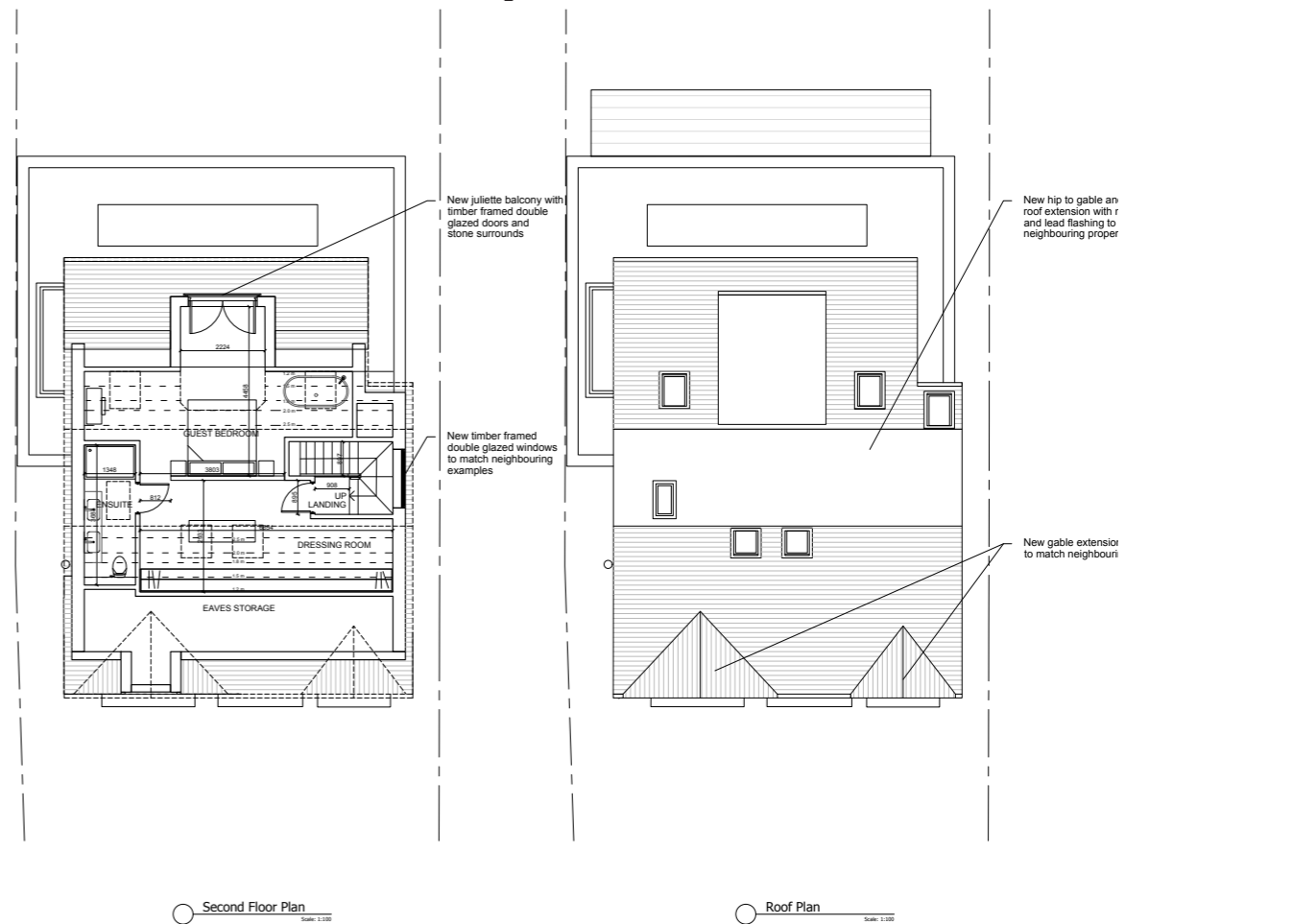
The proposed alterations include a rear and side extension and roof extension, with an outbuilding and internal alterations. Internal alterations include the renovation of all bedrooms and bathrooms and the opening up of the living spaces at ground floor.

The replacement of all windows with double glazed to match existing will make a significant impact on the well-being of the house occupants. New front door with timber panels and glazed window will be added to the front elevation and will match neighbouring examples. The replacement of the garage door with a new window and new brick and stone external cladding.

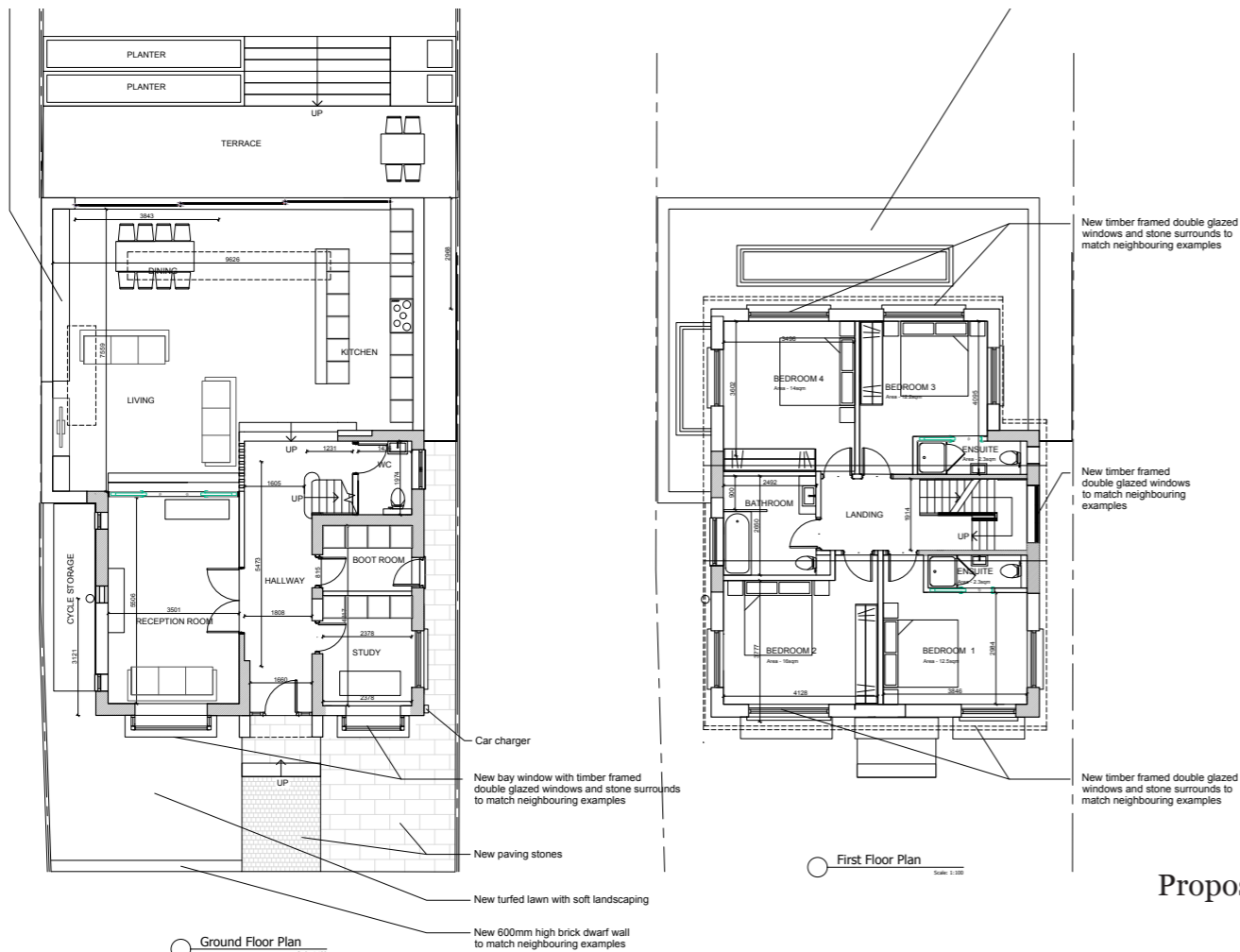
All proposed alterations have been carefully designed in accordance with SPD of London Borough of Richmond Upon Thames. The proposal maintains amenity, harmony, materials, details and most importantly, it is consistent and coherent with the street's existing architectural character.



Proposed Elevations



Proposed Plans



CONCLUSION

Design Rationale:

The choice of materials and finishes is sympathetic to the local vernacular, utilizing materials that are in keeping with the surrounding properties to ensure a contextual and visually pleasing development.

Contextual Considerations:

The proposed development takes into account the surrounding context and adheres to the local architectural character. It respects the scale, massing, and materials used in neighboring properties, contributing positively to the overall streetscape. The design minimizes any potential impact on neighboring properties, ensuring that the extensions are sympathetic to the local context.

Access Considerations:

The proposed development has been carefully planned to maintain and improve existing access arrangements. Access to the property during construction will be managed to minimize disruption to neighboring properties. The extensions do not compromise the access to light and privacy for neighbouring dwellings.

Sustainable Design:

The project incorporates sustainable design principles, including the use of energy-efficient materials, maximizing natural light, and promoting thermal efficiency. These measures contribute to the overall sustainability goals of the borough and align with national and local planning policies.

Summary

In conclusion, these proposals have been designed with careful consideration of the existing context and in accordance with local planning policies. The development aims to enhance the property while respecting the character of the surrounding area.

We trust that this Design and Access Statement adequately conveys the merits of the proposed development. We remain at your disposal for any further information or clarification required during the planning process.



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